



dfhaia
David Forbes Hibbert

1544 20th Street 3rd Fl. CA
90260-3944
info@dfhaia.com
www.dfhaia.com

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David Forbes Hibbert

Skechers
2901 Pacific Coast Highway
Hermosa Beach, CA 90254

PHOTO MONTAGE - SKECHERS
NORTH FROM KEATS STREET



REVISION	NO.
-	10/15/2014
-	02/01/2016

Date: 07/14/14
Scale:

By: Author
Project No:
1410

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ABBREVIATIONS	
A/C A.C.	AIR CONDITIONING ASPHALTIC CONCRETE
A.D. A.F.F. ALUM. BD. BLDG. BLKG. BOT. C.L. CLG. CLR. C.M.U.	PAVING AREA DRAIN ABOVE FINISH FLOOR ALUMINUM BOARD BUILDING BLOCKING BOTTOM CENTER LINE CEILING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONC. BLK. CONC. CONSTRUCTION CONT. DIA. DIM. DN. D.S. DTL DWG. EA. ELEC. EQ. EQUIP. EXIST. EXT. F.F. F.G. FIN. FLR. F.O.C. F.O.M. F.O.S. FP. FT. FTG. G. GA. GALV. GL. GYP. H.B. H.C. HD. HT. H.V.A.C. H.W. INT. LAV. LT. MAX. M/C MECH. MFG.
MIN. MTL. N N.C. NO. N.O. N.S. N.T.S. O.C. OPNG. OPP. P P.C. P.P. P.L. PLYWD. PLMB. PR. PAINT R. R.A. RAD. R.D. RECP. REF. REFIN. REQ'D. REV. RF. RM. R.O. S.A. S.C. S.D. S.F. SHTG. SHT, MTL. SIM. S/S STL. STR. SUBFLR. SUSP. T. T & G THK T.O. TYP. U.G. U.N.O. UNF. W. W/W W.C. WOOD W.H. W.I. W/O W.O. W.P. W.W.M.	MINIMUM METAL NORTH NATURAL GRADE NOT IN CONTRACT NUMBER NOT TO SCALE ON CENTER OPENING OPPOSITE PLANTING AREA PRE-CAST CONCRETE POWER POLE PLATE PROPERTY LINE PLYWOOD PLUMBING PAIR PAINT RISER RETURN AIR RADIUS ROOF DRAIN RECEPTACLE REFRIGERATOR REINFORCED REQUIRED REVISION ROOM ROUGH OPENING SUPPLY AIR SOLID CORE STORM DRAIN SQUARE FEET SHEATHING SHEET METAL SIMILAR STAINLESS STEEL STEEL STRUCTURAL SUB-FLOOR SUSPENDED TREAD TONGUE AND GROOVE THICK TOP OF TYPICAL UNDERGROUND UNLESS NOTED OTHERWISE UNFINISHED WATER WITH WATER CLOSET WOOD WATER HEATER WROUGHT IRON WITHOUT WHERE OCCURS WATER PROOF WELDED WIRE MESH

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
(E)	EXISTING CONDITION
(D)	CONDITION TO BE DEMOLISHED
(N)	NEW CONDITION
ELEVATION LOCATION	
	EXISTING CONTOUR LINE
	NEW CONTOUR LINE
	MATCH LINE, SHADED PORTION SIDE SHOWN
	LEVEL LINE, CONTROL POINT OR DATUM
	PROPERTY LINE, BOUNDARY LINES
	CENTER LINE, EXTERIOR ELEVATION LINES
	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
	OUTLINE OF HIDDEN OBJECTS BELOW
	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION REFERENCE DRAWING NUMBER
	DETAIL NUMBER REFERENCE DRAWING NUMBER
	WALL SECTION REFERENCE DRAWING NUMBER
	ELEVATION NUMBER REFERENCE DRAWING NUMBER
	DOOR NUMBER
	WALL REFERENCE
	WINDOW NUMBER
	MATERIAL REFERENCE COLOR REFERENCE
	EQUIPMENT NUMBER
	REVISION
	PROJECT NORTH (MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
	REFERENCE GRIDS

STRUCTURAL OBSERVATIONS	
THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION AS DEFINED INT HE 2010 CBC, SECTION 220. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES, WHICH, TO THE BEST OF THE STRUCTURAL OBSERVERS KNOWLEDGE, HAVE NOT BEEN RESOLVED.	
STRUCTURAL OBSERVATION IS REQUIRED FOR BOTH SHORING AND THE BUILDING.	

PROJECT DIRECTORY	
OWNER: SEPULVEDA BOULEVARD PROPERTIES, LLC (SKECHERS USA) 228 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA 90266 CONTACT: TIM BALL TEL: (310) 318-3100 x 1488	
ARCHITECT: DFH ARCHITECTS, AIA 1544 20TH STREET SANTA MONICA, CA 90404 TEL: (310) 394-4045 FAX: (310) 998-8658	LANDSCAPE: BENNITT DESIGN GROUP 4609 E. ANAHEIM STREET SUITE B LONG BEACH, CA 90804 TEL: (562) 597-2221
CIVIL: KREUZER CONSULTING GROUP 320 MAIN STREET UNIT D SEAL BEACH, CA 90740 TEL: (714) 656-0160	STRUCTURAL: ENGLEKIRK STRUCTURAL ENGINEERS C/O LAWRENCE HO 2116 ARLINGTON AVENUE LOS ANGELES, CA 90018 TEL: (323) 773-8673 FAX: (323) 773-8682

STRUCTURAL OBSERVATIONS	
THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION AS DEFINED INT HE 2010 CBC, SECTION 220. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES, WHICH, TO THE BEST OF THE STRUCTURAL OBSERVERS KNOWLEDGE, HAVE NOT BEEN RESOLVED.	
STRUCTURAL OBSERVATION IS REQUIRED FOR BOTH SHORING AND THE BUILDING.	

CODES & AGENCIES	
1. THIS PROJECT SHALL COMPLY WITH: TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE 2013 CALIFORNIA BUILDING CODE (CBC) 2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA PLUMBING CODE (CPC) 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2013 CALIFORNIA ENERGY CODE (CEC) 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBCS) 2013 CALIFORNIA FIRE CODE	
ACCESSIBILITY CODE SAFE HARBORS: FHA DM 1998 w/ ANSI 2003 / 2010 ADA STANDARDS	
2. ALL WORK SHALL COMPLY WITH THE FOLLOWING CITY OF HERMOSA BEACH REGULATIONS, CODES AND AUTHORITIES: A. BUILDING & SAFETY DEPT. B. PLANNING & ZONING DEPT. C. FIRE DEPT. D. PUBLIC WORKS DEPT. E. ENGINEERING DEPT. F. RECREATION & PARKS DEPT.	

DEFERRED SUBMITTALS	
SEPARATE APPS, PLAN CHECK AND PERMITS WILL BE SUBMITTED FOR: - FIRE PROTECTION SPRINKLER SYSTEM - FIRE ALARM DESIGN SYSTEM - FIRE STANDPIPE SYSTEM	
FIRE PROTECTION:	AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLATION SHALL CONFORM TO 2010 CBC STANDARDS, CHAPTER 9 & THE CALIFORNIA FIRE CODE WHERE APPLICABLE
	EMERGENCY RADIO COMMUNICATION SHALL MEET ALL OF THE REQUIREMENTS OF CALIFORNIA FIRE CODE SECTION 510 PRIOR TO BUILDING FINAL INSPECTION AND ISSUANCE OF CERTIFICATE OF OCCUPANCY.

CARPOOL / VANPOOL / EV REQUIRED																		
DESIGN CENTER: CARPOOL / VANPOOL 0.1 x 427 (PROVIDED) = 43 STALLS EV 0.03 x 427 (PROVIDED) = 13 STALLS																		
PARKING PROVIDED DESIGN CENTER: <table border="1"> <thead> <tr> <th>LEVEL</th> <th>DESCRIPTION</th> <th>QUANTITY</th> </tr> </thead> <tbody> <tr> <td>LOWER LEVEL</td> <td>CARPOOL / VANPOOL EV</td> <td>21 STALLS 9 STALLS</td> </tr> <tr> <td>P1</td> <td>CARPOOL / VANPOOL EV</td> <td>18 STALLS 4 STALLS</td> </tr> <tr> <td>P2</td> <td>CARPOOL / VANPOOL</td> <td>4 STALLS</td> </tr> <tr> <td colspan="2">DESIGN CENTER TOTAL</td> <td>CARPOOL / VANPOOL 43 STALLS EV 13 STALLS</td> </tr> <tr> <td colspan="2">CHECK: 43 CARPOOL / VANPOOL PROVIDED FOR DESIGN CENTER; .1 x 427 = 43 REQ.; REQUIREMENT MET 13 EV PROVIDED FOR DESIGN CENTER; .03 x 427 = 13 REQ.; REQUIREMENT MET</td> </tr> </tbody> </table>		LEVEL	DESCRIPTION	QUANTITY	LOWER LEVEL	CARPOOL / VANPOOL EV	21 STALLS 9 STALLS	P1	CARPOOL / VANPOOL EV	18 STALLS 4 STALLS	P2	CARPOOL / VANPOOL	4 STALLS	DESIGN CENTER TOTAL		CARPOOL / VANPOOL 43 STALLS EV 13 STALLS	CHECK: 43 CARPOOL / VANPOOL PROVIDED FOR DESIGN CENTER; .1 x 427 = 43 REQ.; REQUIREMENT MET 13 EV PROVIDED FOR DESIGN CENTER; .03 x 427 = 13 REQ.; REQUIREMENT MET	
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PROJECT SUMMARY	
DESIGN CENTER	
PROJECT ADDRESS:	2901 PACIFIC COAST HIGHWAY HERMOSA BEACH, CA 90254
PROJECT DESCRIPTION:	APN: 4169-034-020 & 4169-034-021 NEW TYPE II-A THREE STORY OFFICE BUILDING ABOVE THREE LEVELS OF TYPE I-A SUBTERRANEAN PARKING GARAGE
LEGAL DESCRIPTION: APN: 4169-034-020 & 021 PARCEL 1: THE NORTHERLY 250 FEET OF THE EASTERLY 160 FEET OF LOT "A" OF TRACT NO. 1954, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22 PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY SAID LAND BEING SHOWN ON THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED MARCH 24, 2008 AS INSTRUMENT NO. 20080499808 OF OFFICIAL RECORDS. PARCEL 2: THAT PORTION OF LOT "A" OF TRACT NO. 1954, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22 PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT "A"; THENCE ALONG THE NORTHERLY LINE OF SAID LOT, NORTH 89 56'30" WEST 180.55 FEET TO THE NORTHEASTERLY CORNER OF LOT 24 OF TRACT NO. 15243, AS PER MAP RECORDED IN BOOK 379 PAGES 10 AND 11 OF MAPS, RECORDS OF SAID COUNTY; THENCE ALONG THE EASTERLY LINES O FLOTS 24, 23, 22 AND 21 OF SAID TRACT NO. 15243, SOUTH 0 15'50" WEST 342.50 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 21; THENCE ALONG THE NORTHERLY LINE OF LOT 19 OF SAID TRACT NO. 15243, SOUTH 89 56'30" EAST 20.05 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 19; THENCE SOUTH 89 44'10" EAST 160.00 FEET TO THE EASTERLY LINE OF SAID LOT "A"; THENCE ALONG SAID LAST MENTIONED EASTERLY LINE, NORTH 0 15'50" EAST 343.15 FEET TO THE POINT OF BEGINNING. EXCEPT THE EASTERLY 160 FEET THEREOF ALSO EXCEPT THAT PORTION LYING SOUTHERLY OF THE NORTHERLY 250 FEET THEREOF. PARCEL 3: THE SOUTHERLY 100 FEET OF THE NORTHERLY 350 FEET OF THE EASTERLY 160 FEET OF LOT "A" OF TRACT NO. 1954, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22 PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY SAID LAND BEING SHOWN ON THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED MARCH 24, 2008 AS INSTRUMENT NO. 20080499808 OF OFFICIAL RECORDS. PARCEL 4: THAT PORTION OF THE WEST 20 FEET OF CAMINO REAL AS SHOWN ON SAID MAP OF TRACT NO. 1594, TITLE TO WHICH WOULD PASS BY A CONVEYANCE DESCRIBED PARCEL 1 HEREIN BEFORE DESCRIBED, SAID LAND BEING SHOWN ON THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED MARCH 24, 2008 AS INSTRUMENT NO. 20080499808 OF OFFICIAL RECORDS. PARCEL 5: THAT PORTION OF LOT "A" OF TRACT 1594, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22 PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT "A"; THENCE ALONG THE NORTHERLY LINE OF SAID LOT, NORTH 89 56' 30" WEST 180.05 FEET TO THE NORTHEASTERLY CORNER OF LOT 24 OF TRACT NO. 15243, AS PER MAP RECORDED IN BOOK 379 PAGES 10 AND 11 OF MAPS, RECORDS OF SAID COUNTY, THENCE ALONG THE EASTERLY LINES O FLOTS 24, 23, 22 AND 21 OF SAID TRACT NO. 15253, SOUTH 0 15' 50" WEST 342.50 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 21, THENCE ALONG THE NORTHERLY LINE OF LOT 19 OF SAID TRACT NO. 15243, SOUTH 89 53' 30" EAST 20.05 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 19, THENCE SOUTH 89 44' 10" EAST 160.00 FEET TO THE EASTERLY LINE OF SAID LOT "A"; THENCE ALONG SAID LAST MENTIONED EASTERLY LINE, NORTH 0 15' 50" EAST 343.15 FEET TO THE POINT OF BEGINNING. EXCEPT THE EASTERLY 160 FEET THEREOF. ALSO EXCEPT THE NORTHERLY 250 FEET THEREOF. SAID LAND BEING SHOWN ON THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED MARCH 24, 2008 AS INSTRUMENT NO. 20080499808 OF OFFICIAL RECORDS.	
LOT AREA: 62,888SQFT	LOT COVERAGE: 38,953SQFT BASED UPON BUILDING EXTENT AT GROUND FLOOR
ZONING:	APN: 4169-034-020 C-3/AH-O GENERAL APN: 4169-034-021 C-3/AH-O GENERAL
YARD REQUIREMENTS: <i>as defined by HB Municipal Code Chapter 17.26.050</i>	FRONT YARD SETBACK: - NO LOT NEED PROVIDE A FRONT YARD EXCEPT AS MAY BE REQUIRED BY A PRECISE PLAN. REAR AND SIDE YARD SETBACK ADJACENT TO RESIDENTIAL ZONES - C-3 ZONE. A MINIMUM REAR AND/OR SIDE YARD SETBACK OF 8FT SHALL BE PROVIDED, AND AN ADDITIONAL 2FT OF SETBACK SHALL BE PROVIDED FOR EACH STORY OVER THE FIRST STORY FOR STRUCTURES THAT ABUT RESIDENTIAL ZONES, EXCEPT WHERE PUBLIC RIGHTS-OF-WAY, 20FT GREATER IN WIDTH, SEPARATE THE COMMERCIAL ZONE FROM THE RESIDENTIAL ZONE.
GROSS LAND AREA: <i>as defined by HB Municipal Code Chapter 17.04.040</i>	APN: 4169-034-020 & 021 74,852SQFT
GROSS FLOOR AREA: <i>as defined by HB Municipal Code Chapter 17.04.040</i>	APN: 4169-034-020 & 021 100,296SQFT
BUILDING HEIGHT:	3STORY / 35FT (35FT ABOVE "GRADE") GRADE AS DEFINED BY HB MUNICIPAL CODE CHAPTER 17.04.040
OCCUPANCY TYPE:	B / S3
CONSTRUCTION TYPE:	TYPE II-A (1ST, 2ND & 3RD FLOORS) TYPE I-A (LOWER LEVEL, P1, P2 & P3 FLOORS)

PARKING CALCULATIONS																																																			
PARKING REQUIRED COMMERCIAL SPACES REQUIRED: DESIGN CENTER 100,296SF @ 1 STALL / 250 S.F. = 401 STALLS MAX COMPACT ALLOWED FOR DESIGN CENTER= 0.3 x 427 (PROVIDED) = 128 STALLS																																																			
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BICYCLE PARKING	
REQUIRED: 4 BICYCLE PARKING SPACES FOR THE FIRST 50,000 SF. 1 ADDITIONAL PER EACH 50,000 SF AFTER. 100,296SQFT FLOOR AREA: 26 BICYCLE PARKING SPACES REQUIRED	PROVIDED: 26 BICYCLE STORAGE PROVIDED

PROJECT SUMMARY	
EXECUTIVE OFFICES	
PROJECT ADDRESS:	3001 PACIFIC COAST HIGHWAY HERMOSA BEACH, CA 90254
PROJECT DESCRIPTION:	APN: 4169-029-044 & 4169-029-052 NEW TYPE II-A THREE STORY OFFICE BUILDING ABOVE THREE LEVELS OF TYPE I-A SUBTERRANEAN PARKING GARAGE
LEGAL DESCRIPTION: APN: 4169-029-044 LOTS 122 AND 123 OF SOUTHERN CALIFORNIA CONVENTION HALL AND MARINE VIEW PARK, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGES 2 AND 3 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THE NORTH HALF OF THE ALLEY, VACATED BY RESOLUTION NO. 85-4864 OF THE CITY COUNCIL OF THE CITY OF HERMOSA BEACH, RECORDED DECEMBER 11, 1986 AS INSTRUMENT NO. 86-1718664, ADJOINING SAID LOTS ON THE SOUTH, BOUNDED ON THE WEST BY THE SOUTHERN PROLONGATION OF THE WESTERLY LINE OF SAID LOT 122 AND BOUNDED ON THE EAST BY THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT 123. APN: 4169-029-052 PARCEL 1: LOTS 124, 125, 126 AND 127 OF SOUTHERN CALIFORNIA CONVENTION HALL AND MARINE VIEW PARK, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES 2 AND 3 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY PARCEL 2: THAT PORTION OF THE SOUTHERLY HALF OF THE VACATED ALLEY, ADJACENT TO THE NORTH LOTS 124, 125, 126 AND 127 OF SOUTHERN CALIFORNIA CONVENTION HALL AND MARINE PARK, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES, 2 AND 2 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, BOUNDED ON THE WEST BY THE NORTHERLY PROLONGATION OF THE WESTERLY LINE OF SAID LOT 127 AND ABOUNDED ON THE EAST BY THE NORTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT 124, AS VACATED BY RESOLUTION NO. 85-4864 OF THE CITY OF COUNCIL OF THE CITY OF HERMOSA BEACH, A CERTIFIED COPY OF WHICH RECORDED DECEMBER 11, 1986 AS INSTRUMENT NO. 86-1718664.	
LOT AREA: 15,813SQFT	LOT COVERAGE: 6,688 SQFT BASED UPON BUILDING EXTENT AT GROUND FLOOR
F.A.R.: 0.76	SEE T-1.10 FOR F.A.R. CALCULATIONS
YARD REQUIREMENTS: <i>as defined by HB Municipal Code Chapter 17.26.050</i>	FRONT YARD SETBACK: - NO LOT NEED PROVIDE A FRONT YARD EXCEPT AS MAY BE REQUIRED BY A PRECISE PLAN. REAR AND SIDE YARD SETBACK ADJACENT TO RESIDENTIAL ZONES - C-3 ZONE. A MINIMUM REAR AND/OR SIDE YARD SETBACK OF 8FT SHALL BE PROVIDED, AND AN ADDITIONAL 2FT OF SETBACK SHALL BE PROVIDED FOR EACH STORY OVER THE FIRST STORY FOR STRUCTURES THAT ABUT RESIDENTIAL ZONES, EXCEPT WHERE PUBLIC RIGHTS-OF-WAY, 20FT GREATER IN WIDTH, SEPARATE THE COMMERCIAL ZONE FROM THE RESIDENTIAL ZONE.
GROSS LAND AREA: <i>as defined by HB Municipal Code Chapter 17.04.040</i>	APN: 4169-029-044 & 052 26,620SQFT
GROSS FLOOR AREA: <i>as defined by HB Municipal Code Chapter 17.04.040</i>	APN: 4169-029-044 & 052 20,207SQFT
BUILDING HEIGHT:	3STORY / 35FT (35FT ABOVE "GRADE") GRADE AS DEFINED BY HB MUNICIPAL CODE CHAPTER 17.04.040
OCCUPANCY TYPE:	B / S3
CONSTRUCTION TYPE:	TYPE II-A (1ST, 2ND & 3RD FLOORS) TYPE I-A (P1, P2 & P3 FLOORS)

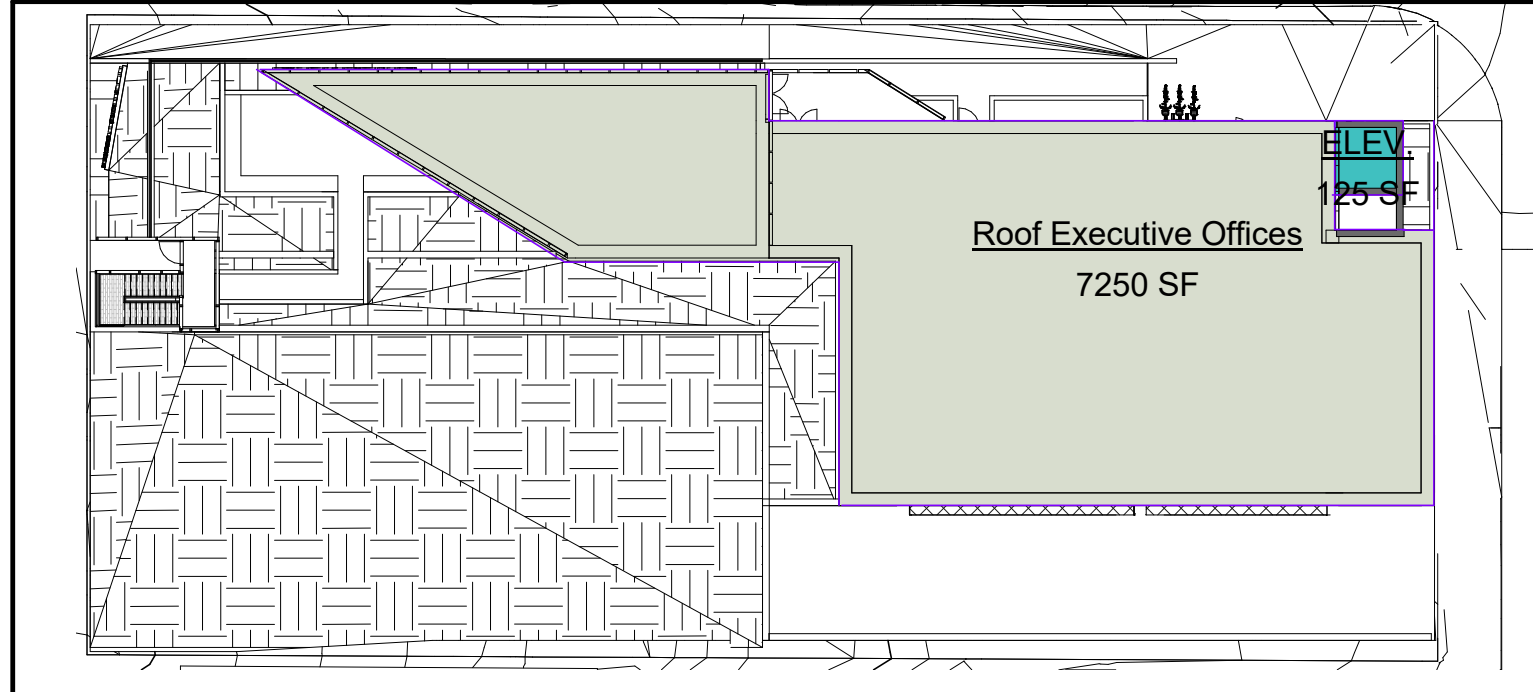
PARKING REQUIRED																																			
COMMERCIAL SPACES REQUIRED: EXECUTIVE OFFICES 19,209 SF @ 1 STALL / 250 S.F. = 77 STALLS GROUND FL. COMMERCIAL / COFFEE HOUSE 996 SF @ 1 STALL / 100 S.F. = 10 STALLS EXECUTIVE OFFICES TOTAL = 87 STALLS																																			
COMPACT (ALLOWABLE) MAX ALLOWED FOR EXECUTIVE OFFICES= 0.3 x 87 (PROVIDED) = 27 STALLS ALLOWED 2 PROVIDED																																			
PARKING PROVIDED EXECUTIVE OFFICES: <table border="1"> <thead> <tr> <th>LEVEL</th> <th>TYPE</th> <th>DESCRIPTION</th> <th>QUANTITY</th> </tr> </thead> <tbody> <tr> <td>P1</td> <td>COMMERCIAL</td> <td>HC (STANDARD/VAN) REGULAR</td> <td>04 STALLS 21 STALLS</td> </tr> <tr> <td colspan="2">P1 TOTAL</td> <td></td> <td>25 STALLS</td> </tr> <tr> <td>P2</td> <td>COMMERCIAL</td> <td>REGULAR COMPACT</td> <td>29 STALLS 01 STALLS</td> </tr> <tr> <td colspan="2">P2 TOTAL</td> <td></td> <td>30 STALLS</td> </tr> <tr> <td>P3</td> <td>COMMERCIAL</td> <td>REGULAR COMPACT</td> <td>31 STALLS 01 STALLS</td> </tr> <tr> <td colspan="2">P3 TOTAL</td> <td></td> <td>32 STALLS</td> </tr> <tr> <td colspan="2">EXECUTIVE OFFICES TOTAL</td> <td></td> <td>87 STALLS</td> </tr> <tr> <td colspan="2">CHECK: TOTAL 87 SPACES FOR EXECUTIVE OFFICES PROVIDED; 87 STALLS REQ.; REQUIREMENT MET 4 HC SPACES PROVIDED FOR EXECUTIVE OFFICES; 4 REQ.; REQUIREMENT MET TOTAL 2 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. REQUIREMENT MET</td> </tr> </tbody> </table>		LEVEL	TYPE	DESCRIPTION	QUANTITY	P1	COMMERCIAL	HC (STANDARD/VAN) REGULAR	04 STALLS 21 STALLS	P1 TOTAL			25 STALLS	P2	COMMERCIAL	REGULAR COMPACT	29 STALLS 01 STALLS	P2 TOTAL			30 STALLS	P3	COMMERCIAL	REGULAR COMPACT	31 STALLS 01 STALLS	P3 TOTAL			32 STALLS	EXECUTIVE OFFICES TOTAL			87 STALLS	CHECK: TOTAL 87 SPACES FOR EXECUTIVE OFFICES PROVIDED; 87 STALLS REQ.; REQUIREMENT MET 4 HC SPACES PROVIDED FOR EXECUTIVE OFFICES; 4 REQ.; REQUIREMENT MET TOTAL 2 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. REQUIREMENT MET	
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BICYCLE PARKING	
REQUIRED: 4 BICYCLE PARKING SPACES FOR THE FIRST 50,000 SF. 1 ADDITIONAL PER EACH 50,000 SF AFTER. 100,296SQFT FLOOR AREA: 26 BICYCLE PARKING SPACES REQUIRED	PROVIDED: 6 BICYCLE PARKING PROVIDED

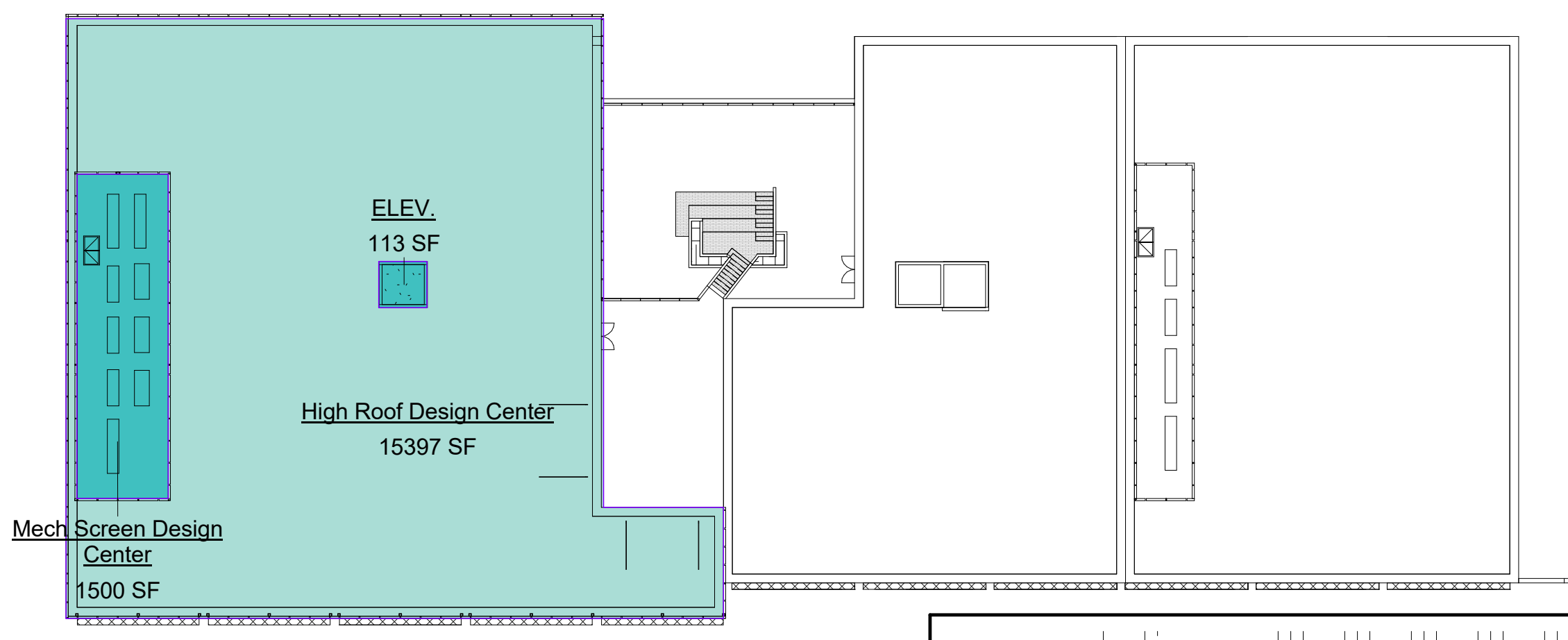
SHEET INDEX	
R-1.0	PHOTO MONTAGE - SKECHERS SOUTH FROM KEATS STREET
R-1.1	PHOTO MONTAGE - SKECHERS NORTH FROM KEATS STREET
R-1.2	PHOTO MONTAGE - SKECHERS FROM NORTH
T-1.01	TITLE SHEET
T-1.10	GROSS AREA PLANS
A-1.01	SITE SURVEY
A-1.03	SITE PLAN
A-2.00	P4 GARAGE - DESIGN CENTER
A-2.01	P3 GARAGE - DESIGN CENTER
A-2.02	P2 GARAGE - DESIGN CENTER
A-2.03	P1 GARAGE - DESIGN CENTER
A-2.04	LOWER LEVEL - DESIGN CENTER
A-2.05	LEVEL 1 - DESIGN CENTER
A-2.06	LEVEL 2 - DESIGN CENTER
A-2.07	LEVEL 3 - DESIGN CENTER
A-2.08	ROOF PLAN - DESIGN CENTER
A-2.11	P3 GARAGE - EXECUTIVE OFFICES
A-2.12	P1 GARAGE - EXECUTIVE OFFICES
A-2.13	P2 GARAGE-EXECUTIVE OFFICES
A-2.14	LEVEL 1 - EXECUTIVE OFFICES
A-2.15	LEVEL 2 - EXECUTIVE OFFICES
A-2.16	LEVEL 3 - EXECUTIVE OFFICES
A-2.17	ROOF PLAN - EXECUTIVE OFFICES
A-3.01	BUILDING SECTIONS - LONGITUDINAL
A-3.02	BUILDING SECTIONS - LONGITUDINAL
A-3.03	BUILDING SECTIONS - TRANSVERSE
A-3.04	BUILDING SECTIONS - TRANSVERSE
A-3.05	BUILDING SECTIONS -GARAGE ENTRY- TUNNEL-
A-4.01	EXTERIOR ELEVATIONS - EAST & WEST
A-4.02	EXTERIOR ELEVATIONS - NORTH & SOUTH

VICINITY MAP	

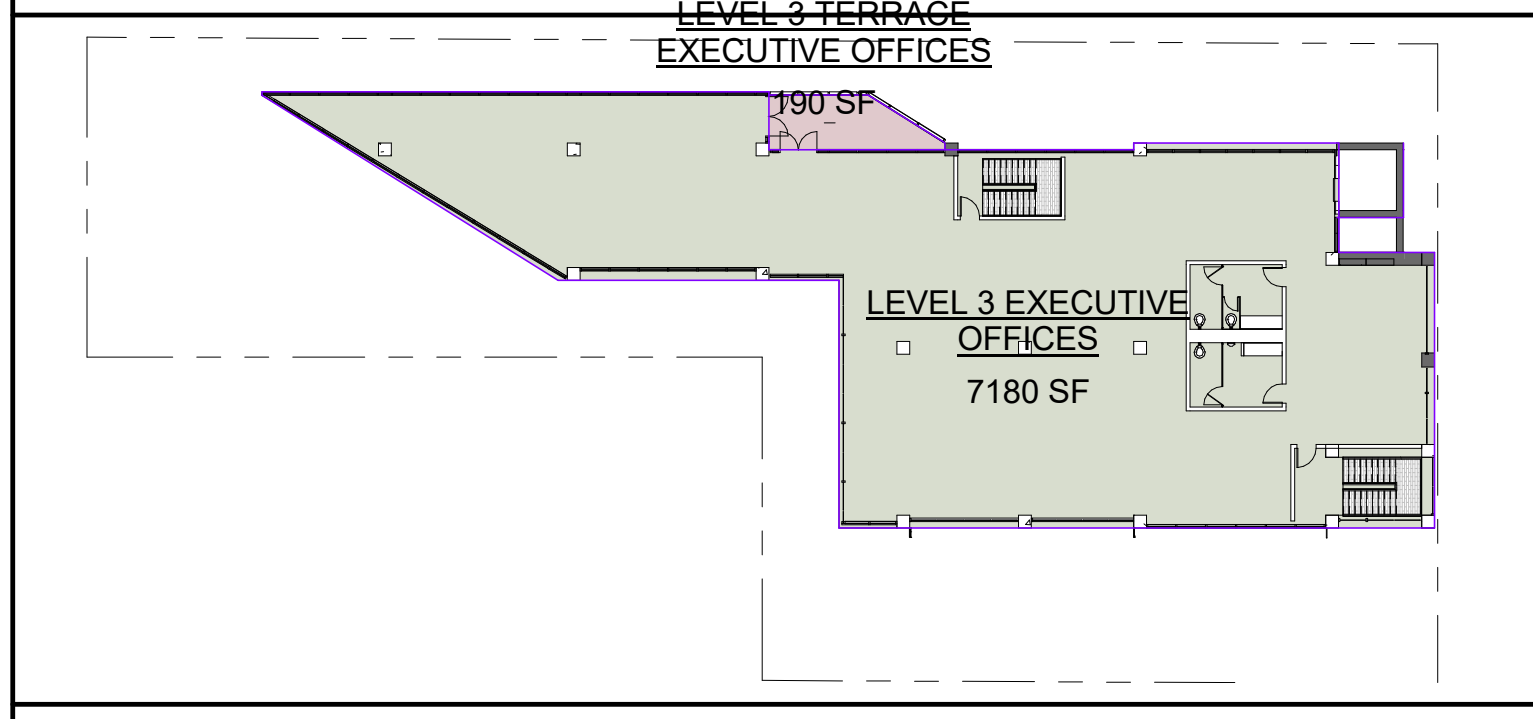
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-	12/19/2016
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By: KB,DR	
Project No: 1410	
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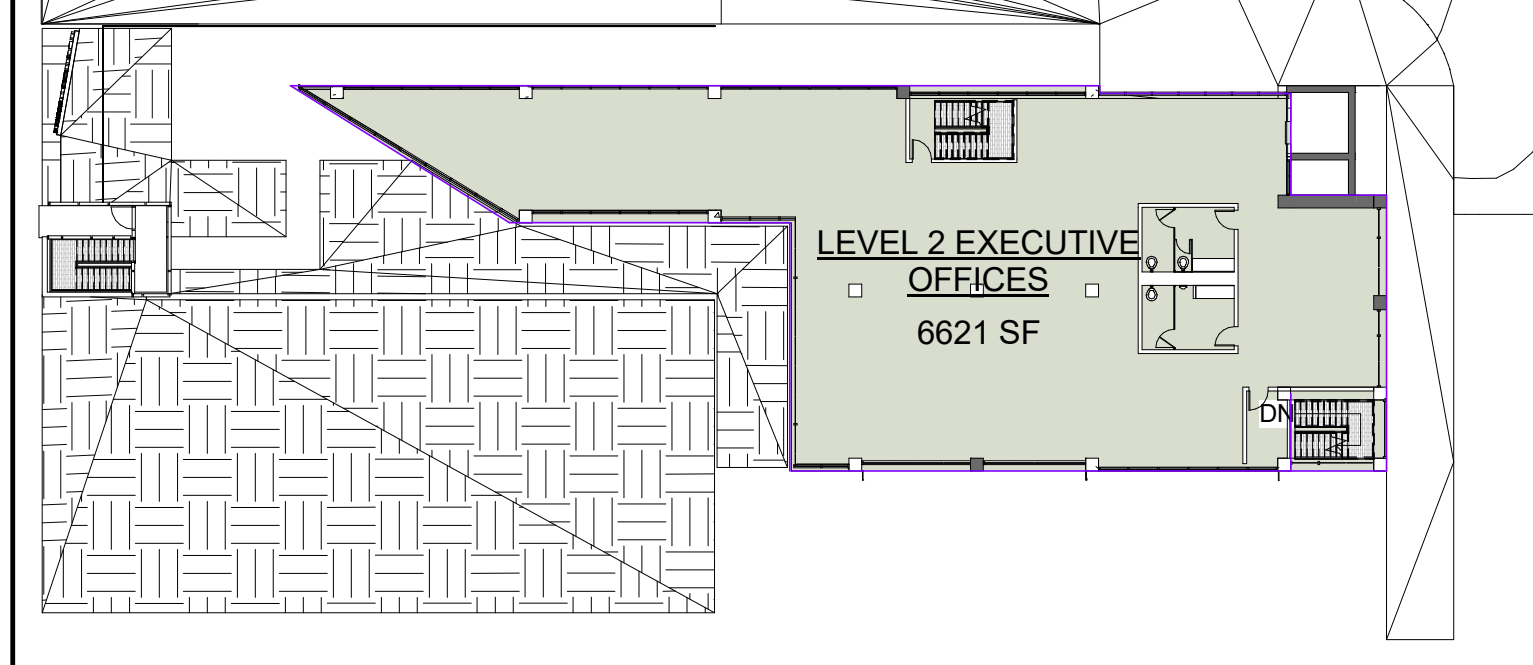
MECHANICAL ROOF COVERAGE
ROOF DESIGN CENTER
 - 1500SF (MECH SCREEN) / 15,397SF (ROOF) = 9.74% COVERAGE
ROOF EXECUTIVE OFFICES
 (MECH SCREEN) / 7,250SF (ROOF)



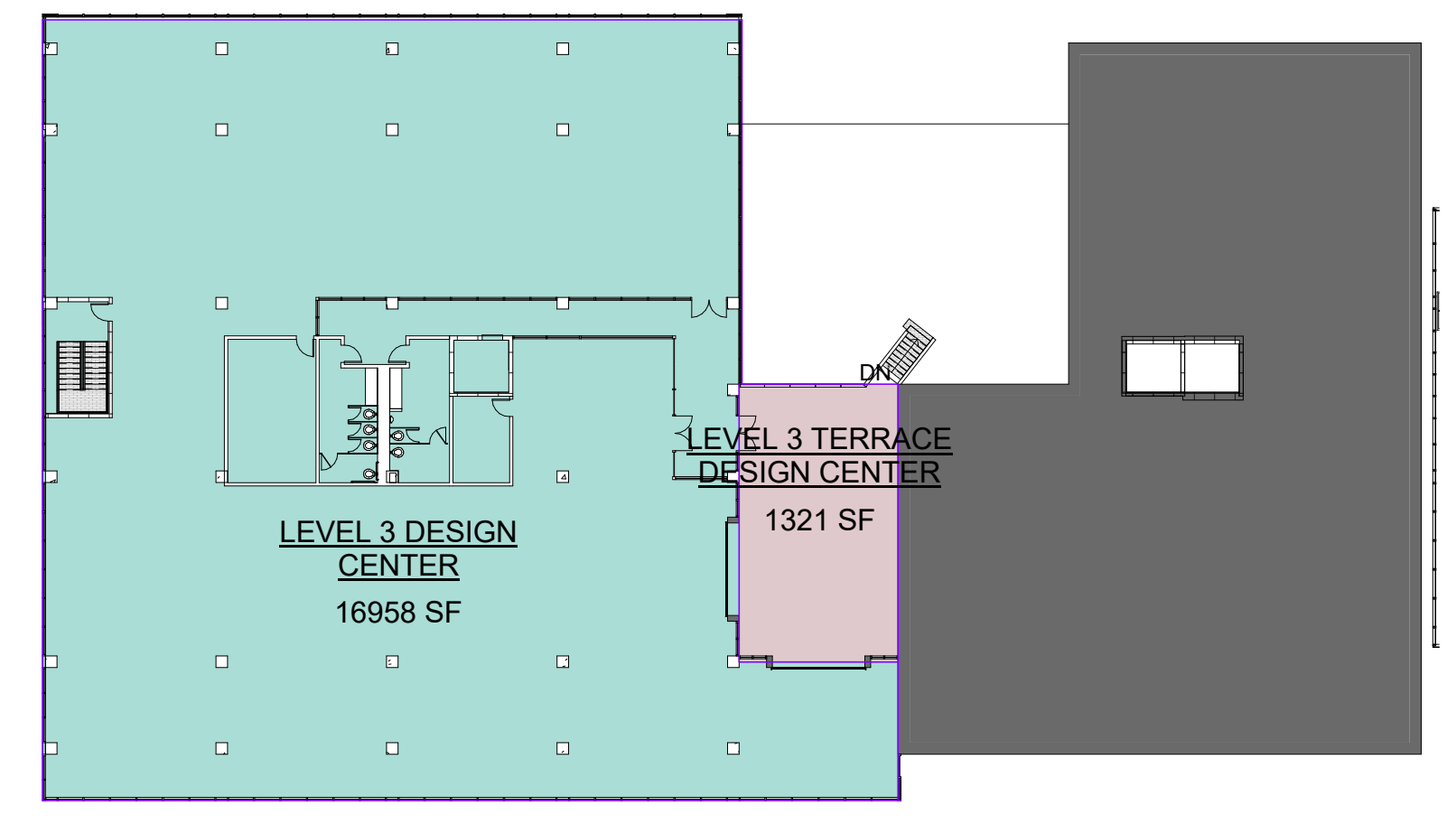
ROOF EXEC OFF SCALE: 1" = 30'-0" 9



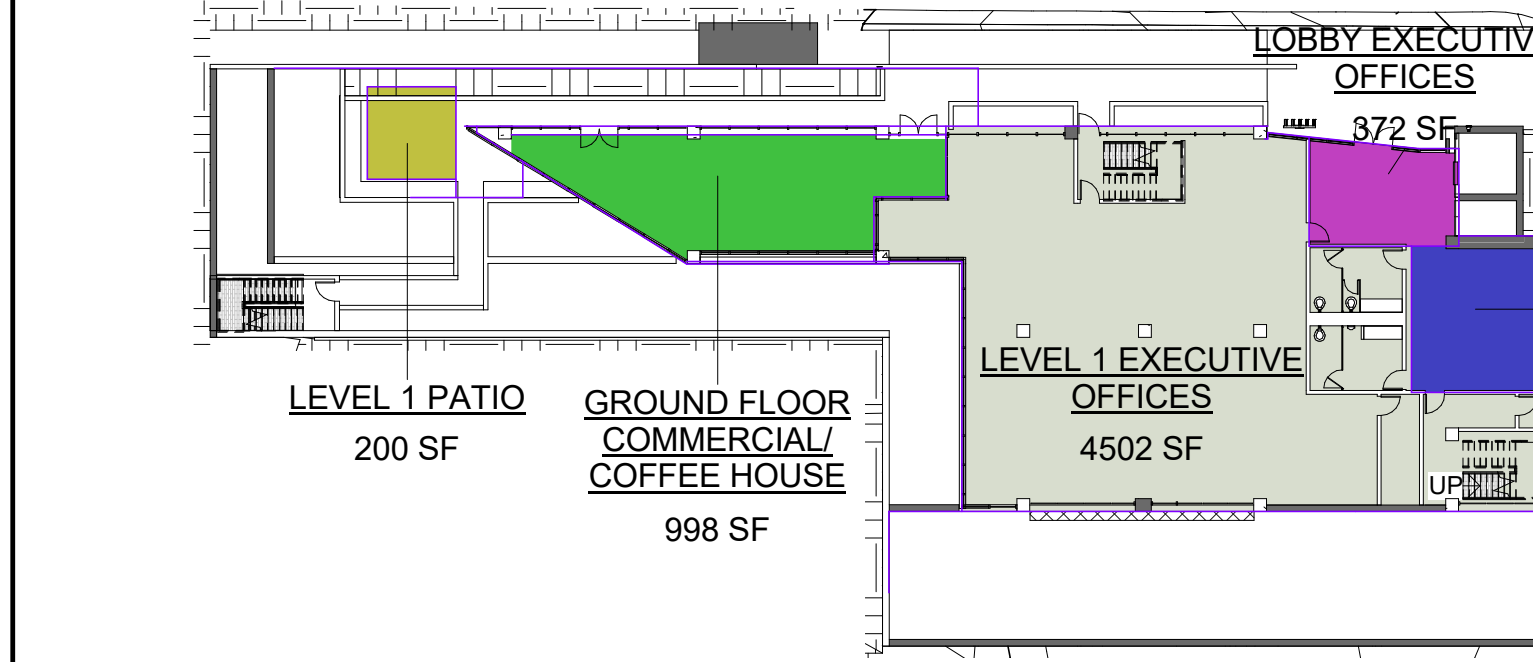
LEVEL 3 EXEC OFF SCALE: 1" = 30'-0" 8



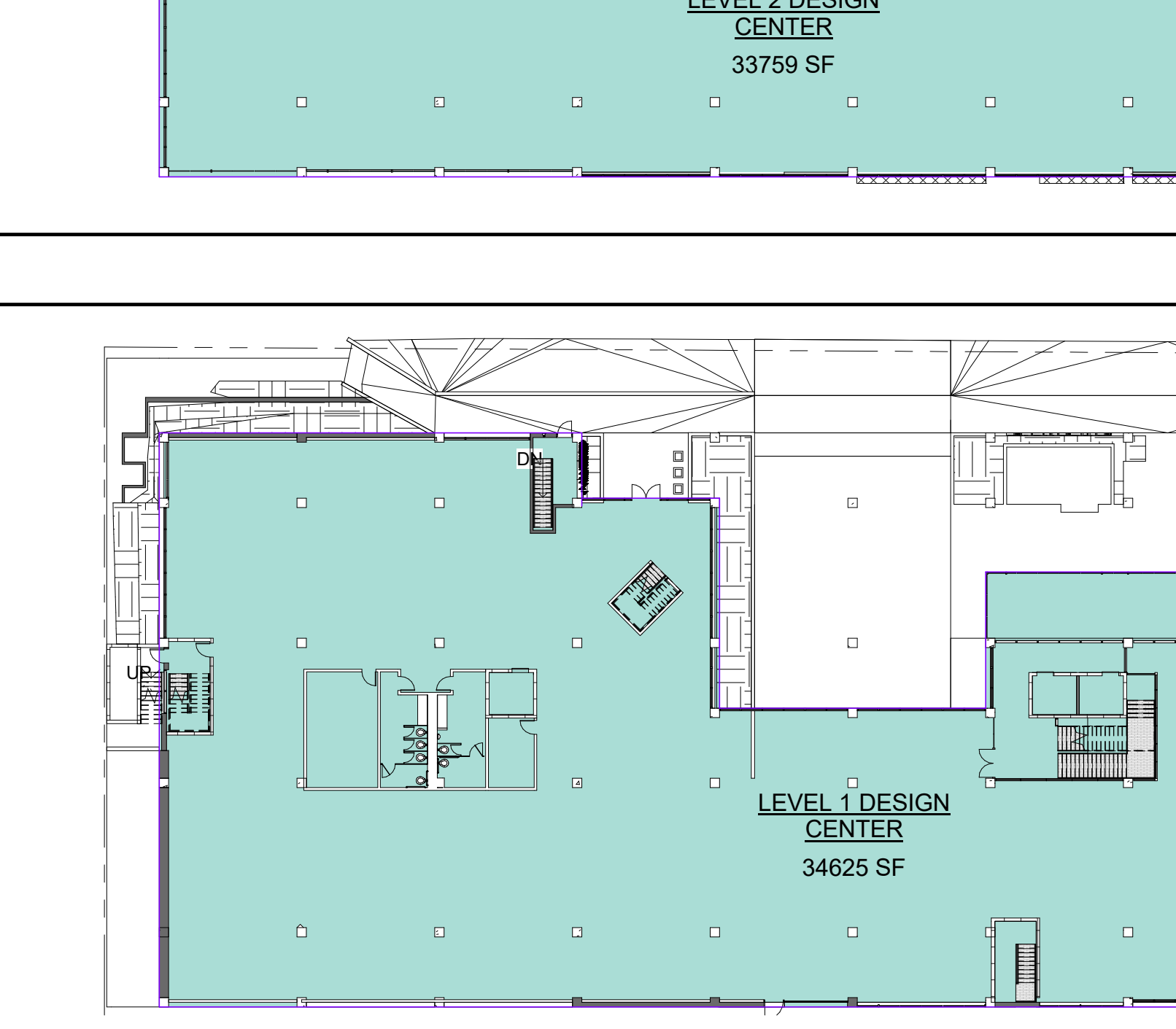
LEVEL 3 SCALE: 1" = 30'-0" 3



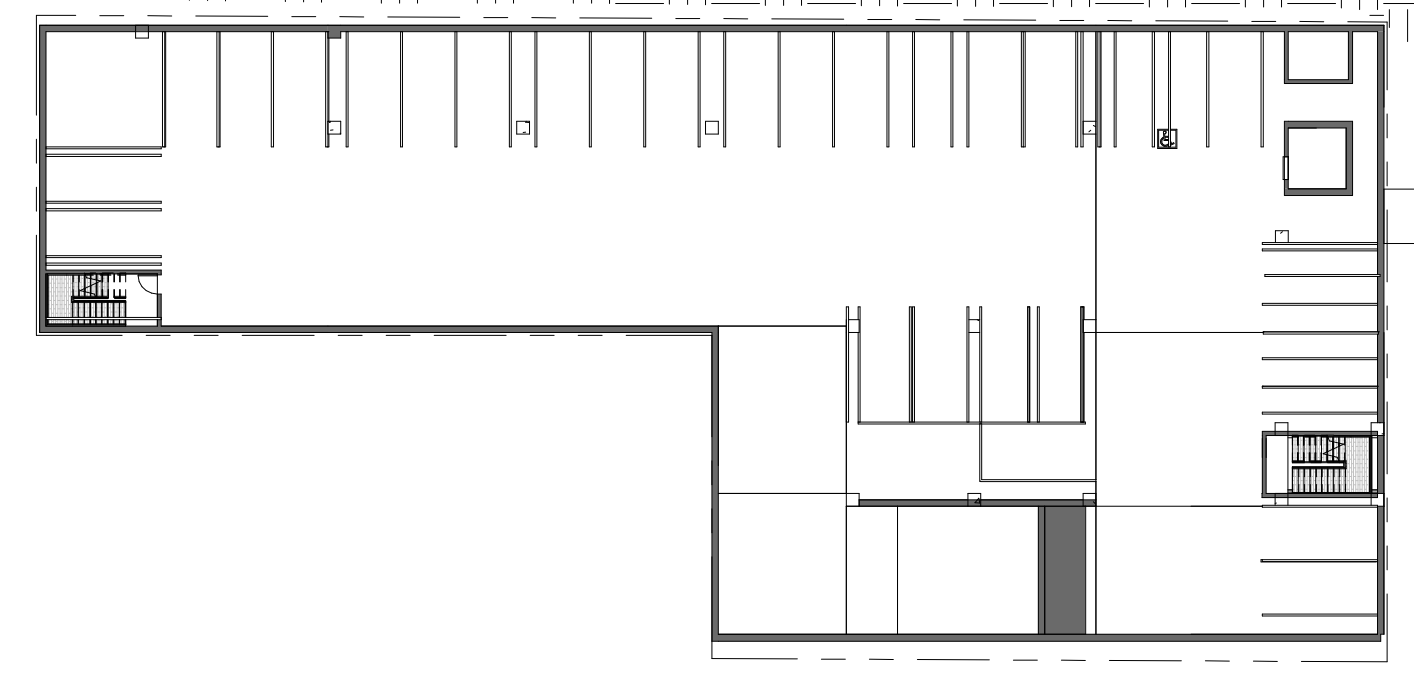
LEVEL 3 SCALE: 1" = 30'-0" 3



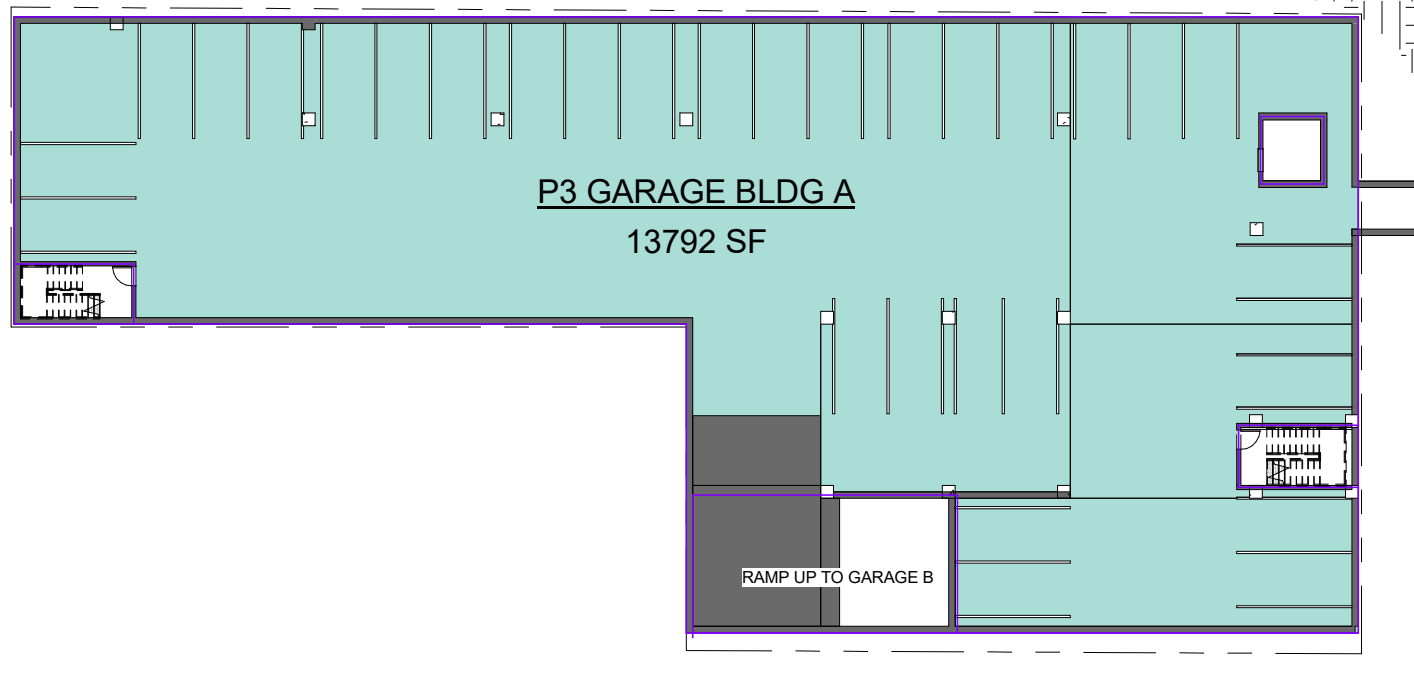
LEVEL 1 SCALE: 1" = 30'-0" 5



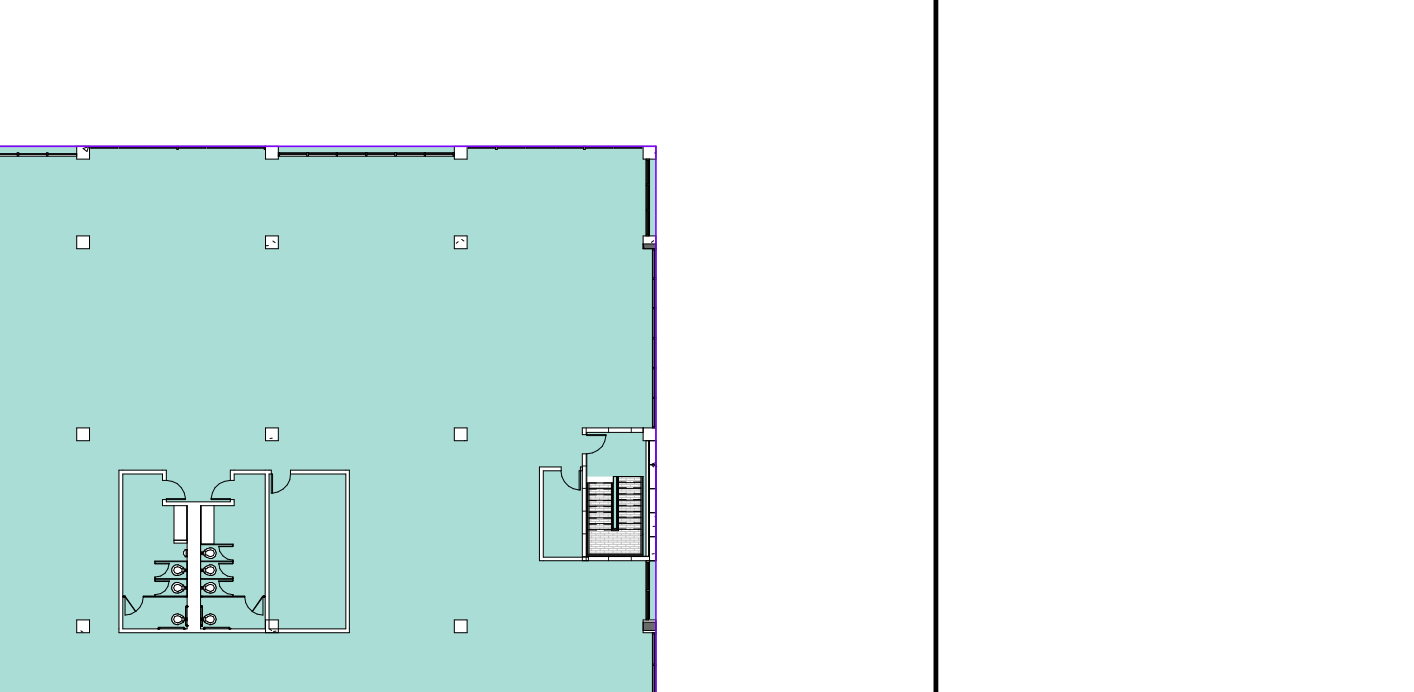
LEVEL 2 SCALE: 1" = 30'-0" 6



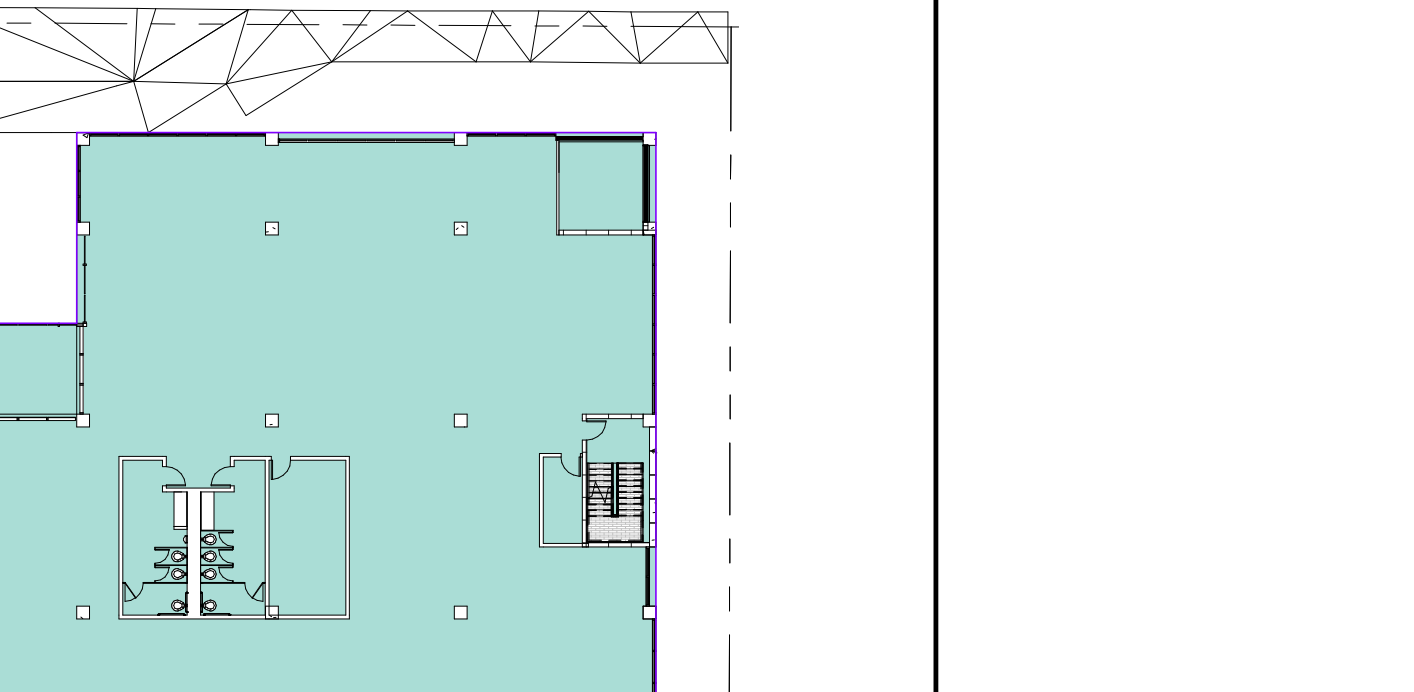
LEVEL 1 SCALE: 1" = 30'-0" 5



LEVEL 2 SCALE: 1" = 30'-0" 6



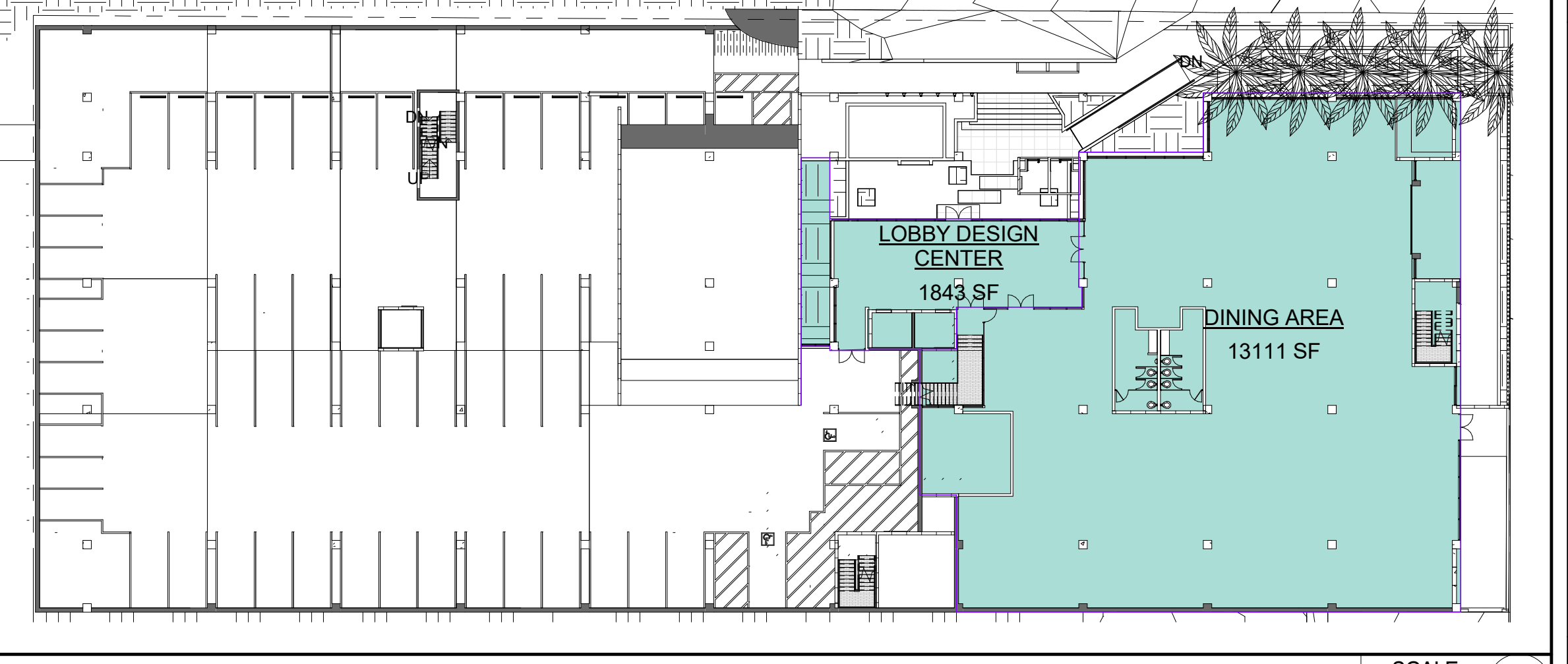
LEVEL 3 SCALE: 1" = 30'-0" 3



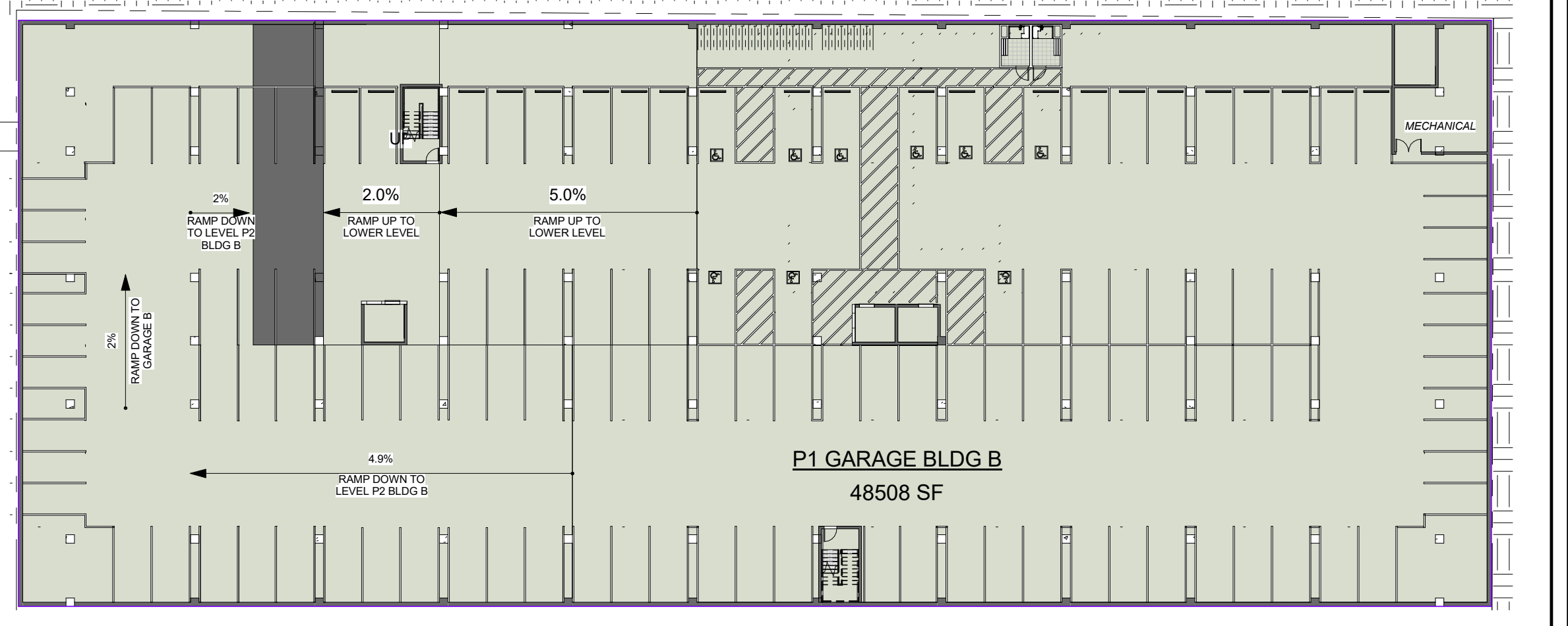
LEVEL 3 EXEC OFF SCALE: 1" = 30'-0" 8

GROSS FLOOR AREA CALCULATIONS
FLOOR AREA RATIO - THE AMOUNT OF GROSS FLOOR AREA, NOT INCLUDING COVERED GARAGES, OF BUILDING PERMITTED IN RELATION TO GROSS LAND AREA.
GROSS LAND AREA - THE AREA OF A LOT, EXPRESSED IN SQUARE FEET, INCLUDING ALL EASEMENTS, MEASURED TO THE CENTER LINE OF ALL ABUTTING STREETS, ALLEYS AND WALKWAYS.

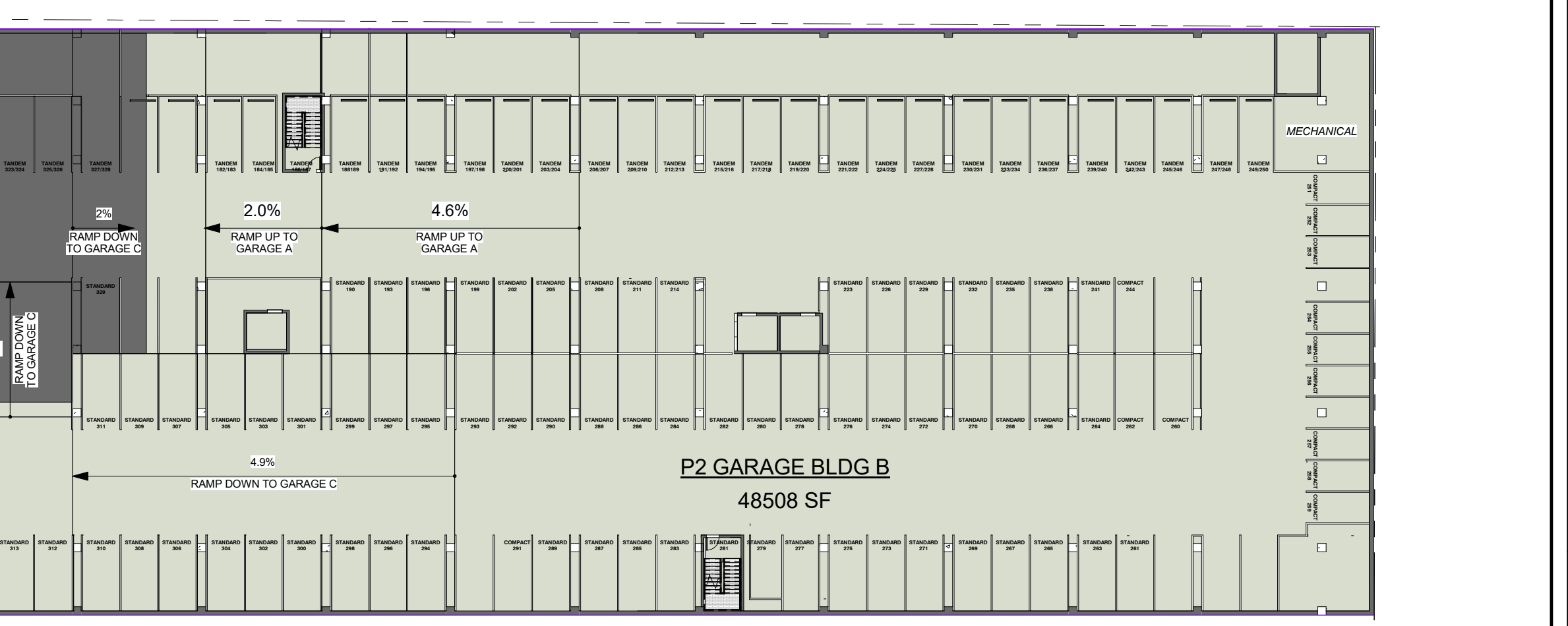
DESIGN CENTER		EXECUTIVE OFFICES	
APN: 4169-034-020 & 021		APN: 4169-029-044 & 052	
LOWER LEVEL	14,954SF	LEVEL 1 (OFFICE)	5,408 SF
LEVEL 1	34,625SF	LEVEL 1 (COFFEE HOUSE)	998 SF
LEVEL 2	33,759SF	LEVEL 2	6,621 SF
LEVEL 3	16,958SF	LEVEL 3	7,180 SF
TOTAL APN FLOOR AREA	100,296SF	TOTAL APN FLOOR AREA	20,207 SF
TOTAL APN GROSS LAND AREA	74,852SF	TOTAL APN GROSS LAND AREA	26,620 SF
TOTAL APN FLOOR AREA RATIO	100,296 / 74,852SF = 1.34FAR	TOTAL APN FLOOR AREA RATIO	20,207 / 26,620 SF = 0.76FAR
		TOTAL PROPOSED FLOOR AREA	20,207SF + 100,296SF = 120,503 SF



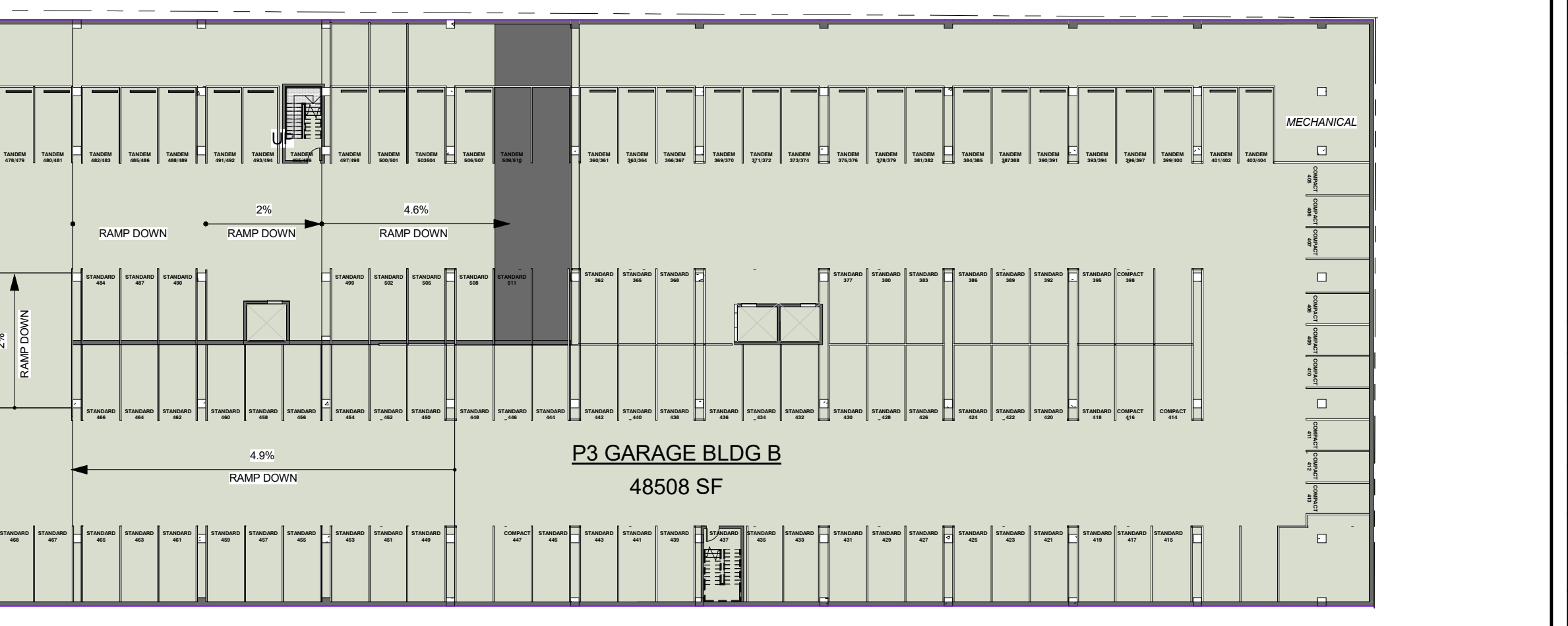
LOWER LEVEL SCALE: 1" = 30'-0" 4



LEVEL P1 SCALE: 1" = 30'-0" 7



LEVEL P2 SCALE: 1" = 30'-0" 2



LEVEL P3 SCALE: 1" = 30'-0" 1

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1584 20th Street, Suite 300
 Hermosa Beach, CA 90254
 (310) 319-4045
 info@dfh.com
 www.dfh.com



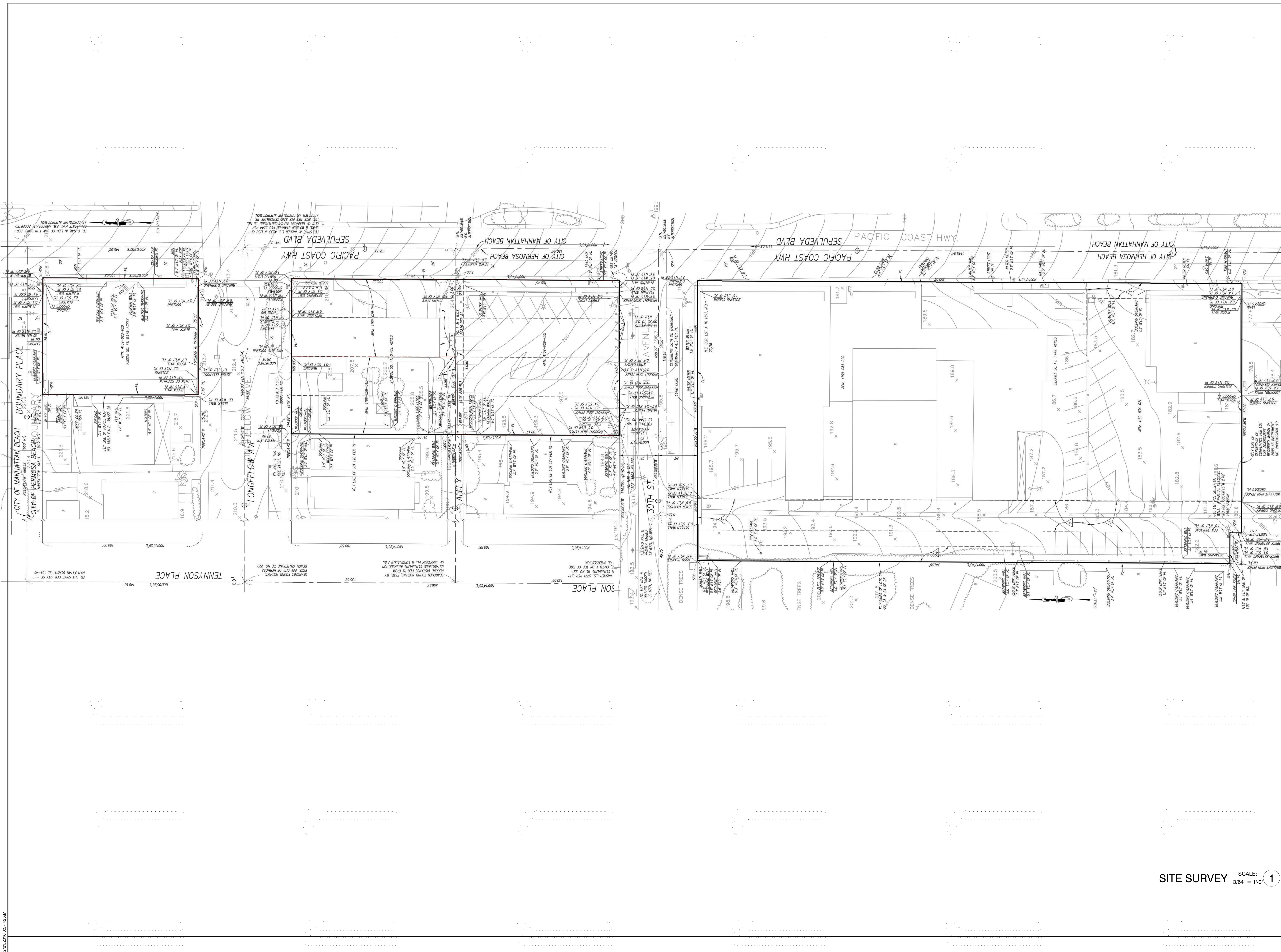
Skechers
 2901 Pacific Coast Highway
 Hermosa Beach, CA 90254

GROSS AREA PLANS



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 - 10/15/2014 -
 02/01/2016

Date: 06/12/14
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SITE SURVEY SCALE: 3/64" = 1'-0" 1



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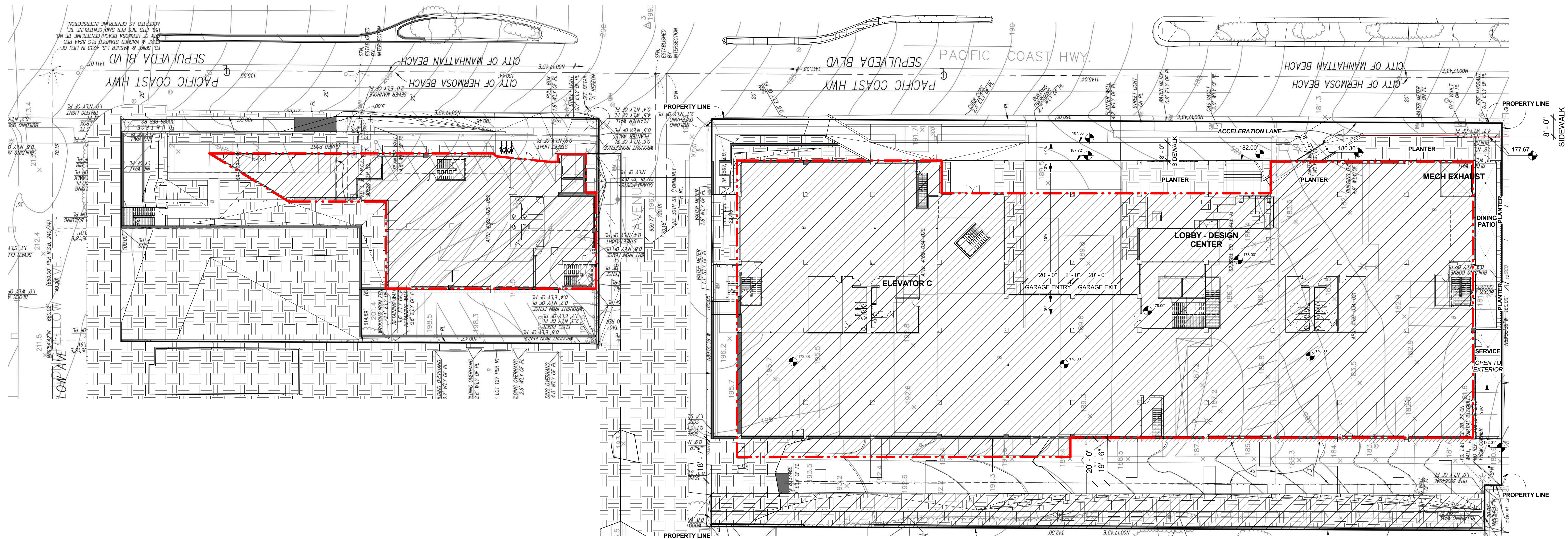
SITE SURVEY

Sketchers
 2901 Pacific Coast Highway
 Hermosa Beach, CA 90254



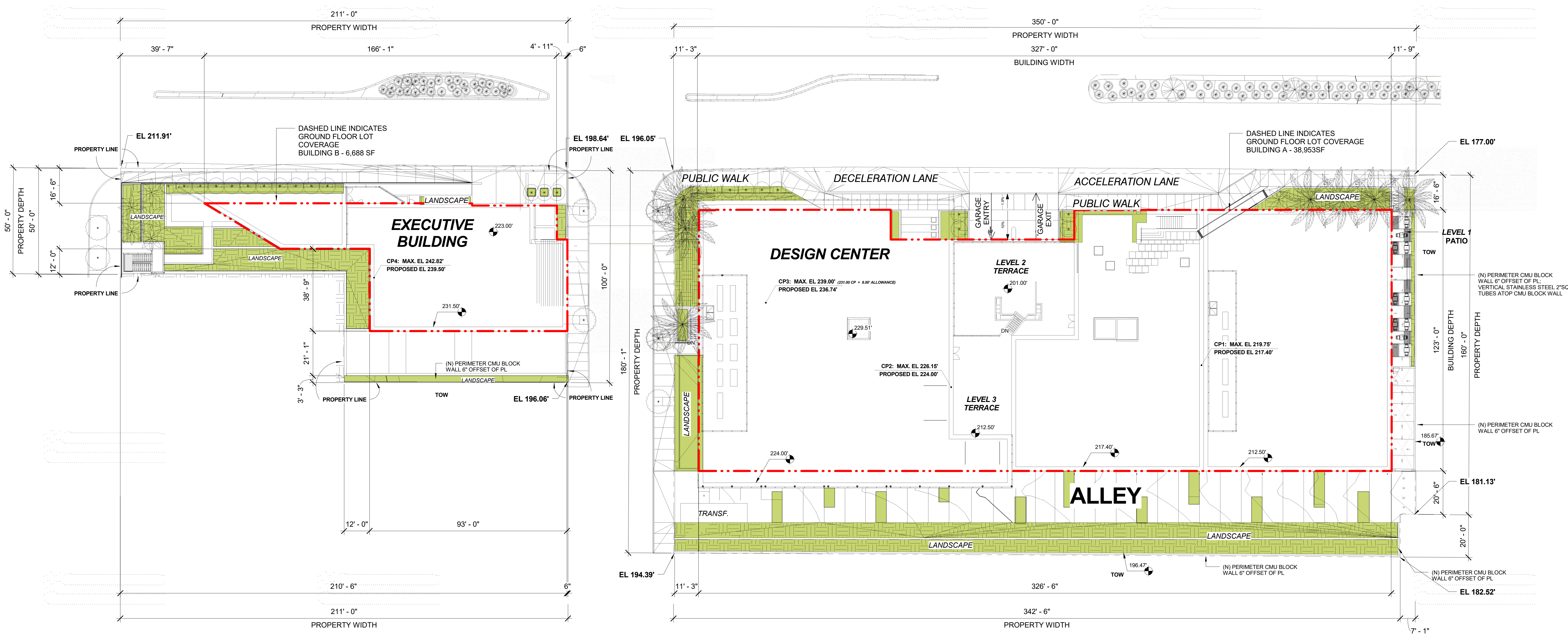
1584 20th Street S.M. CA
 415.310.394.4045
 info@dfhaid.com
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-	10/15/2014
-	02/01/2016

Date: 07/14/14
 Scale: 1" = 20'-0"
 By: Author
 Project No: 1410



SITE PLAN SCALE: 1" = 20'-0" 1

12/21/2016 9:02:43 AM

LEGENDS

WALL HATCH LEGEND

A	MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
B	MIN. 1-HOUR FIRE RATED WALL
C	MIN. 2-HOUR FIRE RATED WALL
D	MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

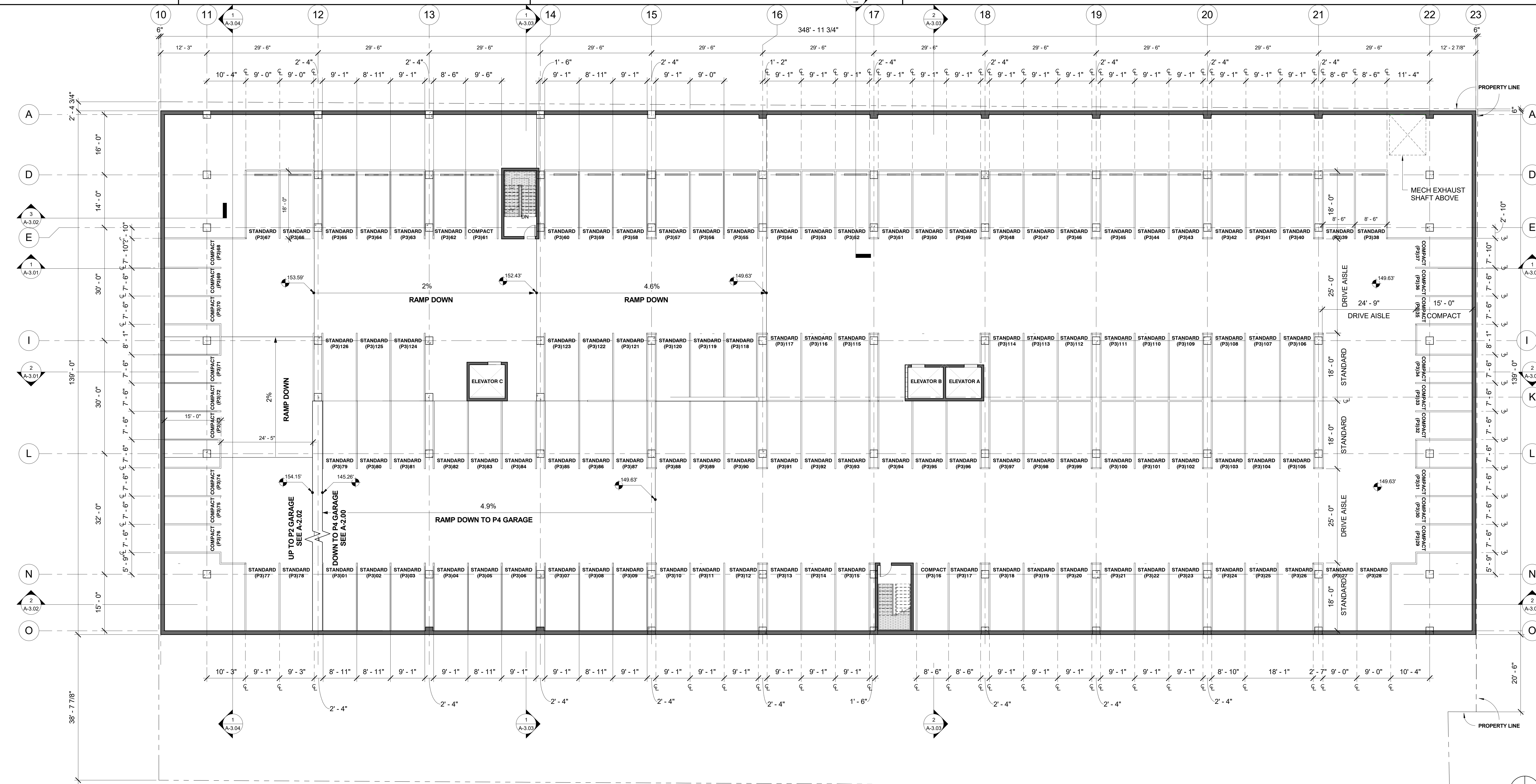
PARKING

PARKING PROVIDED DESIGN CENTER:

LEVEL	TYPE	DESCRIPTION	QUANTITY
LOWER LEVEL	COMMERCIAL	HC (STANDARD/VAN)	02 STALLS
		REGULAR	21 STALLS
LOWER LEVEL TOTAL			23 STALLS
P1	COMMERCIAL	HC (STANDARD/VAN)	07 STALLS
		REGULAR	94 STALLS
		COMPACT	20 STALLS
P1 TOTAL			121 STALLS
P2	COMMERCIAL	REGULAR	106 STALLS
		COMPACT	20 STALLS
P2 TOTAL			126 STALLS
P3	COMMERCIAL	REGULAR	106 STALLS
		COMPACT	20 STALLS
P3 TOTAL			126 STALLS
P4	COMMERCIAL	REGULAR	21 STALLS
		COMPACT	10 STALLS
P4 TOTAL			31 STALLS
DESIGN CENTER TOTAL			427 STALLS

CHECK:
 TOTAL 427 SPACES FOR DESIGN CENTER PROVIDED; 401 STALLS ROD.; **REQUIREMENT MET**
 9 HC SPACES PROVIDED FOR DESIGN CENTER; 401 - 500 = 9 REQ.; **REQUIREMENT MET**
 TOTAL 70 COMPACT STALLS PROVIDED FOR DESIGN CENTER; 126 MAX. **REQUIREMENT MET**

KEYNOTES

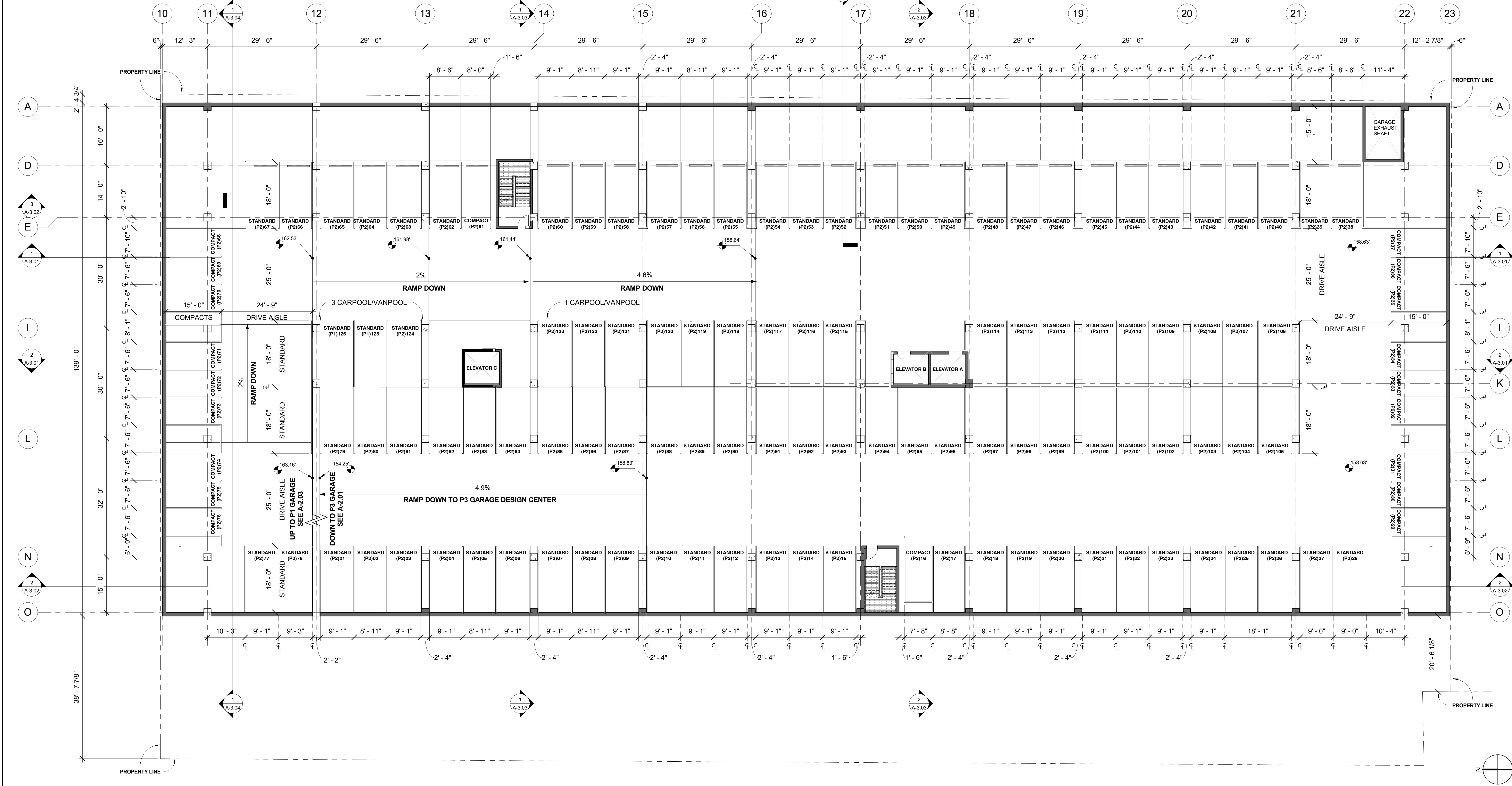


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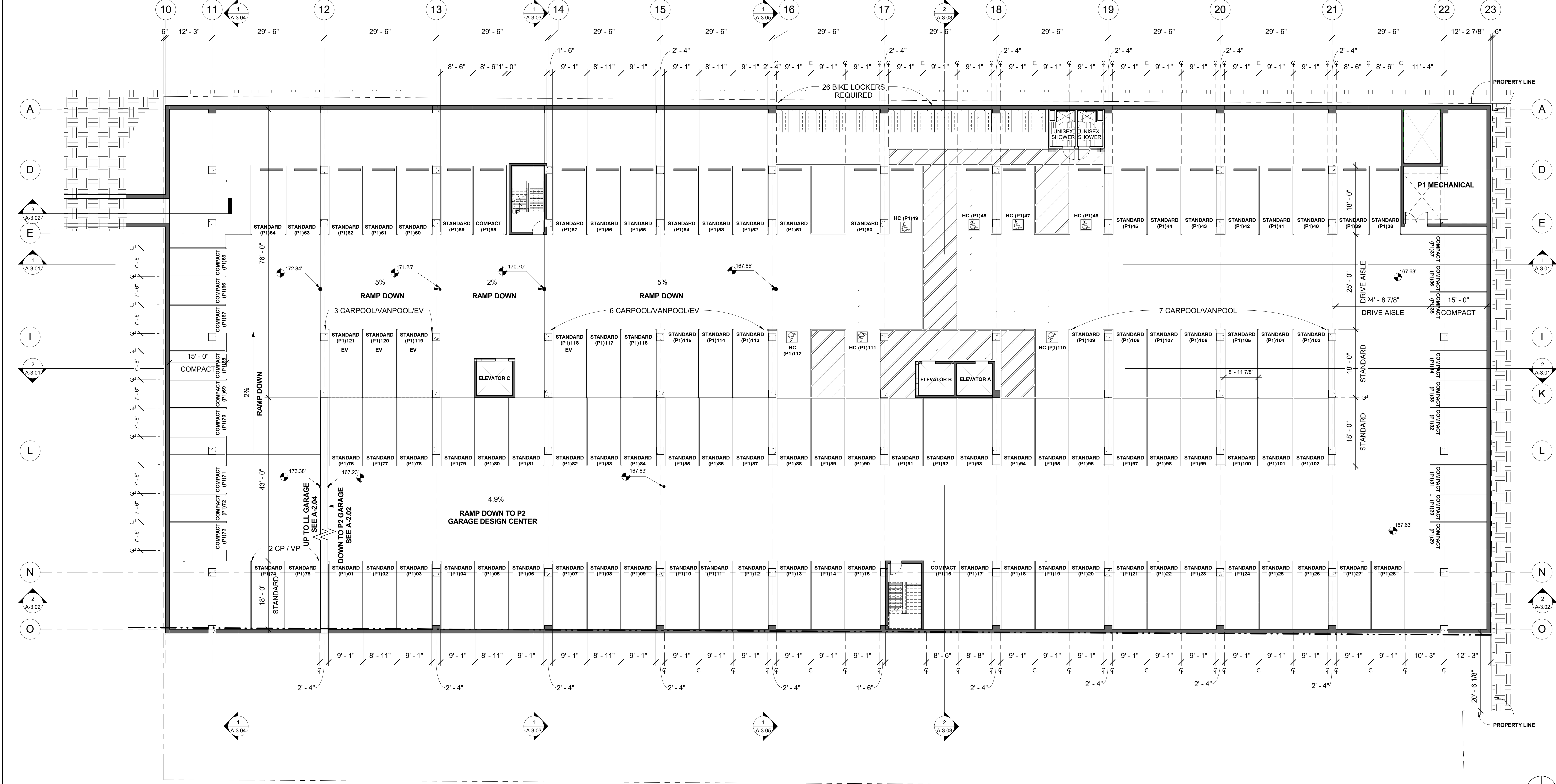
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		COMPACT	10 STALLS																																																																
P4 TOTAL			31 STALLS																																																																
DESIGN CENTER TOTAL			427 STALLS																																																																



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LEVEL P1 SCALE: 3/32" = 1'-0" 1



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OF	

LEGENDS

WALL HATCH LEGEND

- A** MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B** MIN. 1-HOUR FIRE RATED WALL
- C** MIN. 2-HOUR FIRE RATED WALL
- D** MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

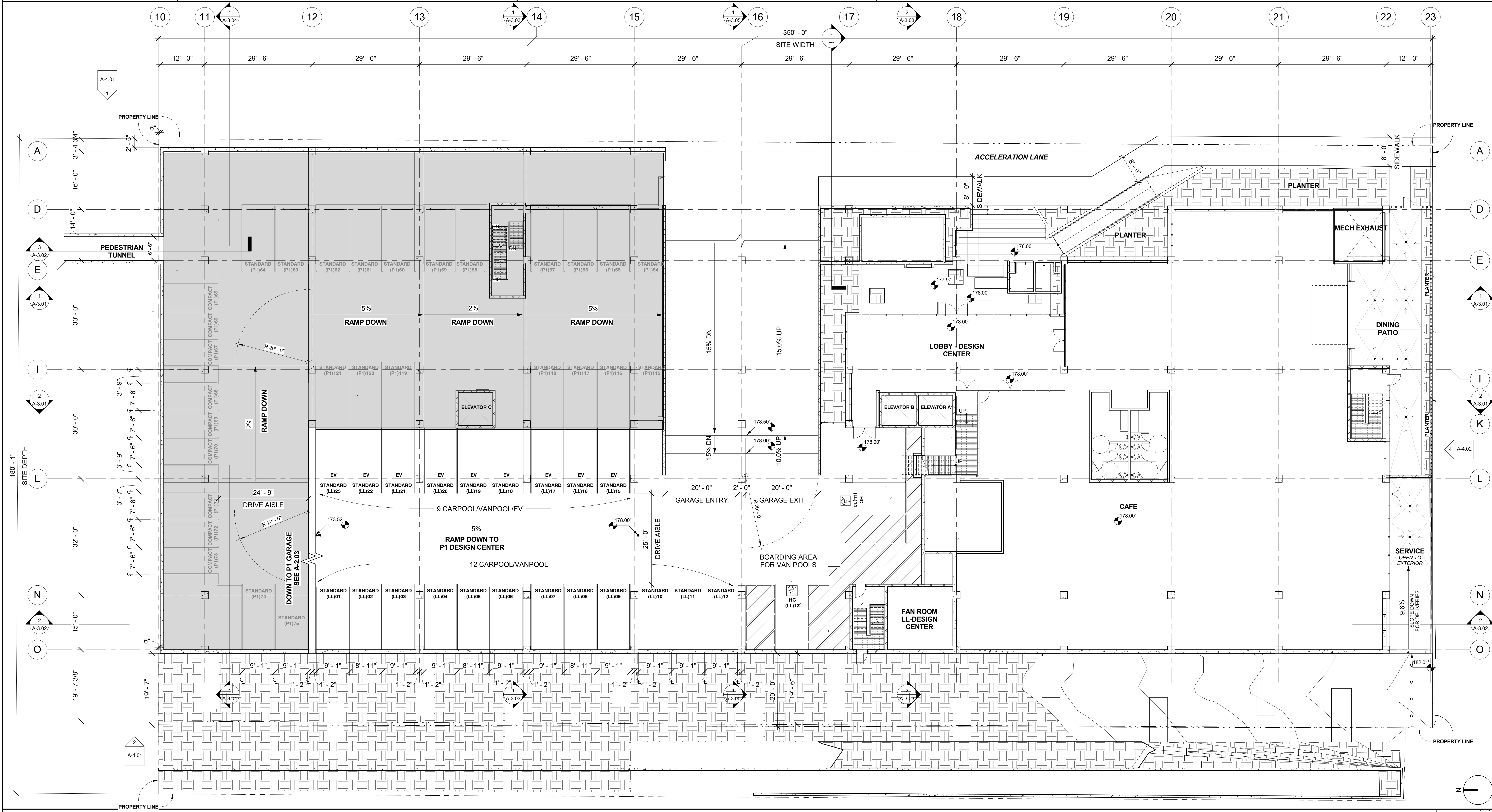
GENERAL NOTES

PARKING

PARKING PROVIDED DESIGN CENTER:			
LEVEL	TYPE	DESCRIPTION	QUANTITY
LOWER LEVEL	COMMERCIAL	HC (STANDARD/VAN)	02 STALLS
		REGULAR	21 STALLS
LOWER LEVEL TOTAL			23 STALLS
P1	COMMERCIAL	HC (STANDARD/VAN)	07 STALLS
		REGULAR	94 STALLS
		COMPACT	20 STALLS
P1 TOTAL			121 STALLS
P2	COMMERCIAL	REGULAR	106 STALLS
		COMPACT	20 STALLS
P2 TOTAL			126 STALLS
P3	COMMERCIAL	REGULAR	106 STALLS
		COMPACT	20 STALLS
P3 TOTAL			126 STALLS
P4	COMMERCIAL	REGULAR	21 STALLS
		COMPACT	10 STALLS
P4 TOTAL			31 STALLS
DESIGN CENTER TOTAL			427 STALLS

CHECK:
 TOTAL 427 SPACES FOR DESIGN CENTER PROVIDED; 401 STALLS ROD. **REQUIREMENT MET**
 9 HC SPACES PROVIDED FOR DESIGN CENTER; 401 - 500 = 9 REQ. **REQUIREMENT MET**
 TOTAL 70 COMPACT STALLS PROVIDED FOR DESIGN CENTER; 128 MAX. **REQUIREMENT MET**

KEYNOTES




1584 20th Street, 3rd Fl., CA
 415.310.3940, 4045
 info@dfhaid.com
 www.dfhaid.com

dfhaid

David Foster Hahn
 Architects

Skechers
 2901 Pacific Coast Highway
 Hermosa Beach, CA 90254

LOWER LEVEL - DESIGN CENTER



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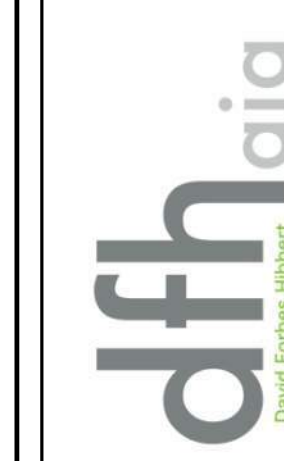
KEYNOTE LEGEND

LEGENDS

WALL HATCH LEGEND

- A [Hatch] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Hatch] MIN. 1-HOUR FIRE RATED WALL
- C [Hatch] MIN. 2-HOUR FIRE RATED WALL
- D [Hatch] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

1544 20th Street S.M. CA
 1-913-399-4045
 info@dfhaia.com
 www.dfhaia.com



Skechers
 2901 Pacific Coast Highway
 Hermosa Beach, CA 90254

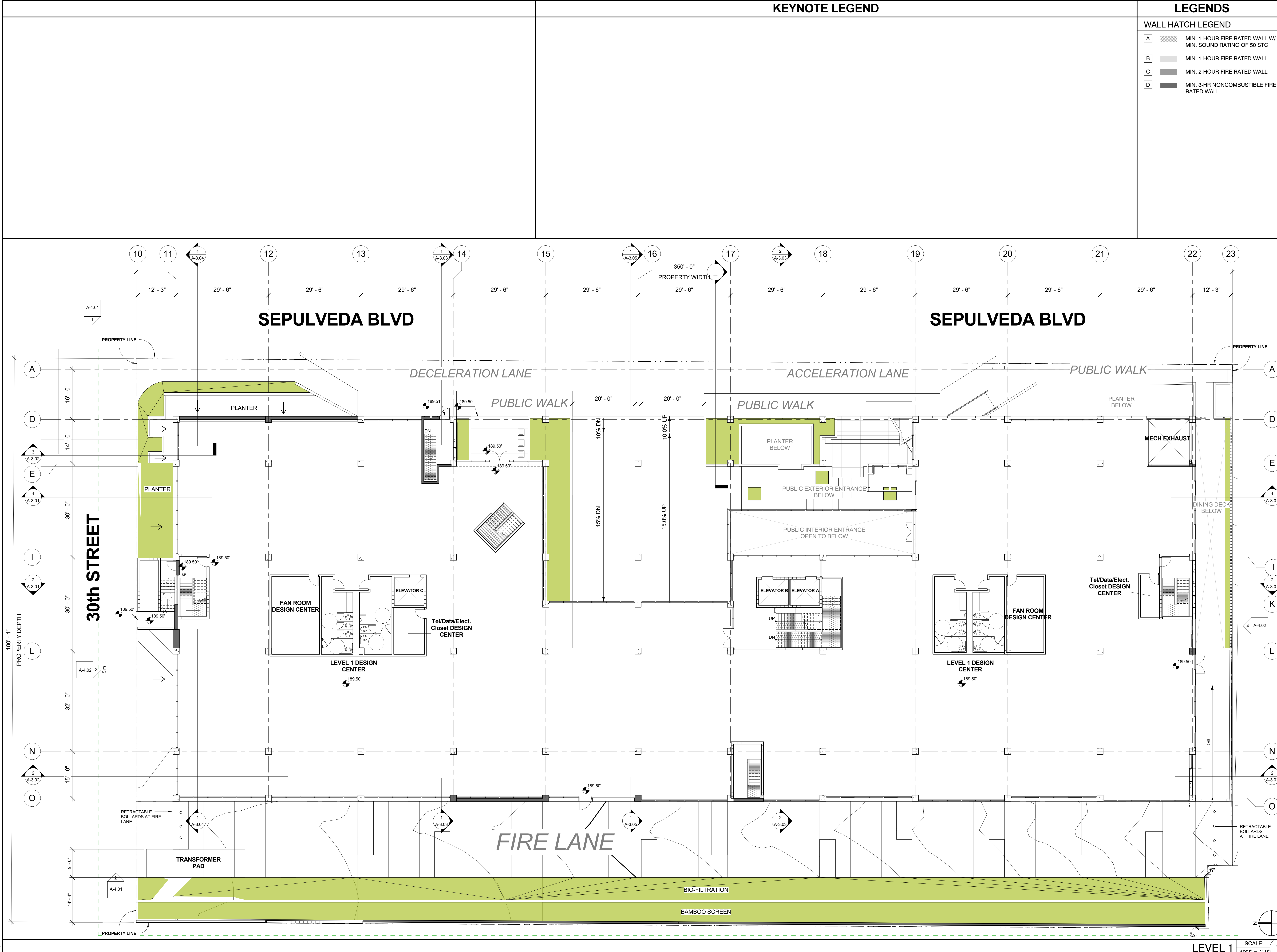
LEVEL 1 - DESIGN CENTER



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LEVEL 1 SCALE: 3/32" = 1'-0" 1

KEYNOTE LEGEND

LEGENDS

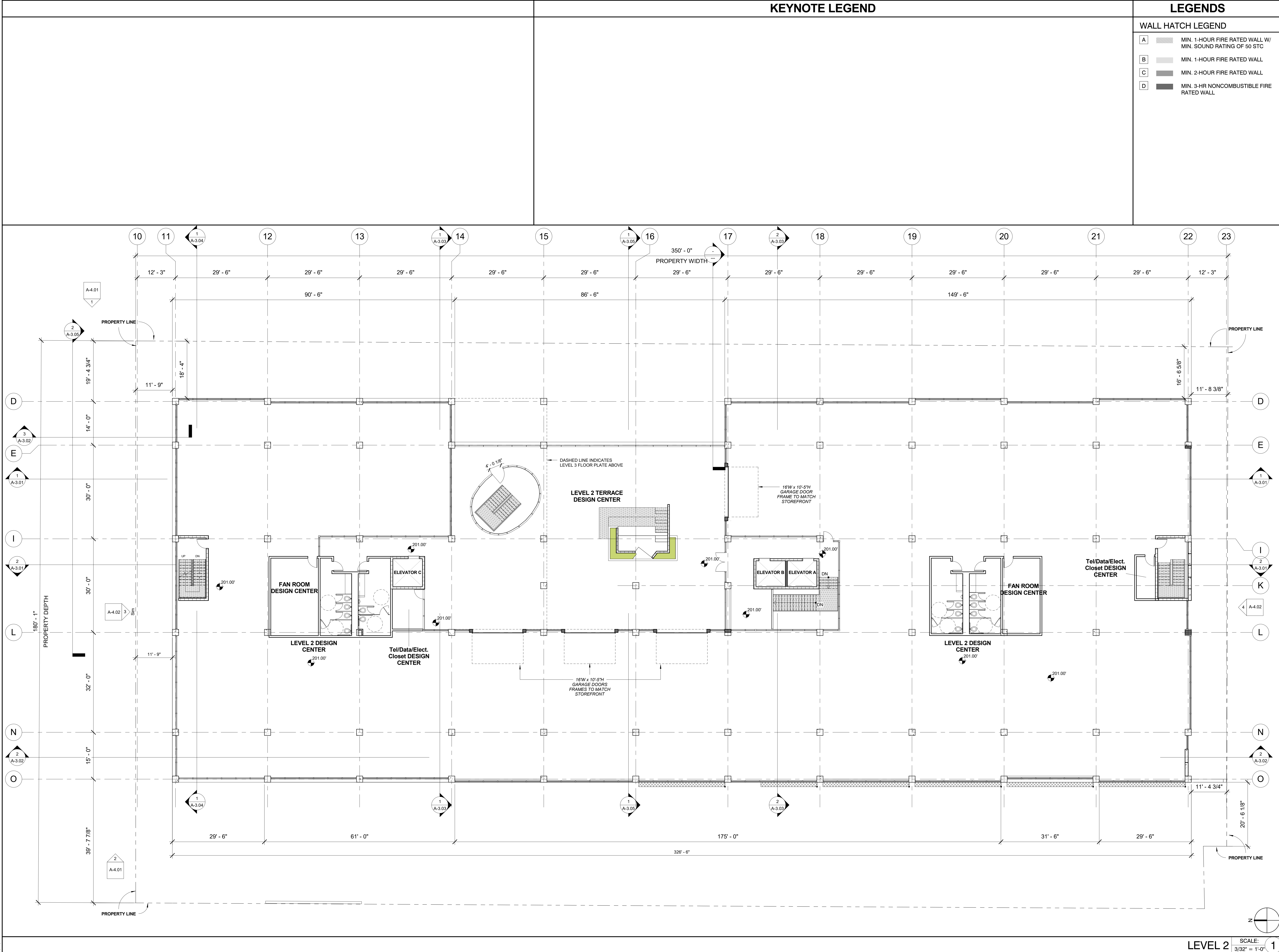
WALL HATCH LEGEND

- A MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B MIN. 1-HOUR FIRE RATED WALL
- C MIN. 2-HOUR FIRE RATED WALL
- D MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL



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LEVEL 2 SCALE: 3/32" = 1'-0" 1

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KEYNOTE LEGEND

LEGENDS

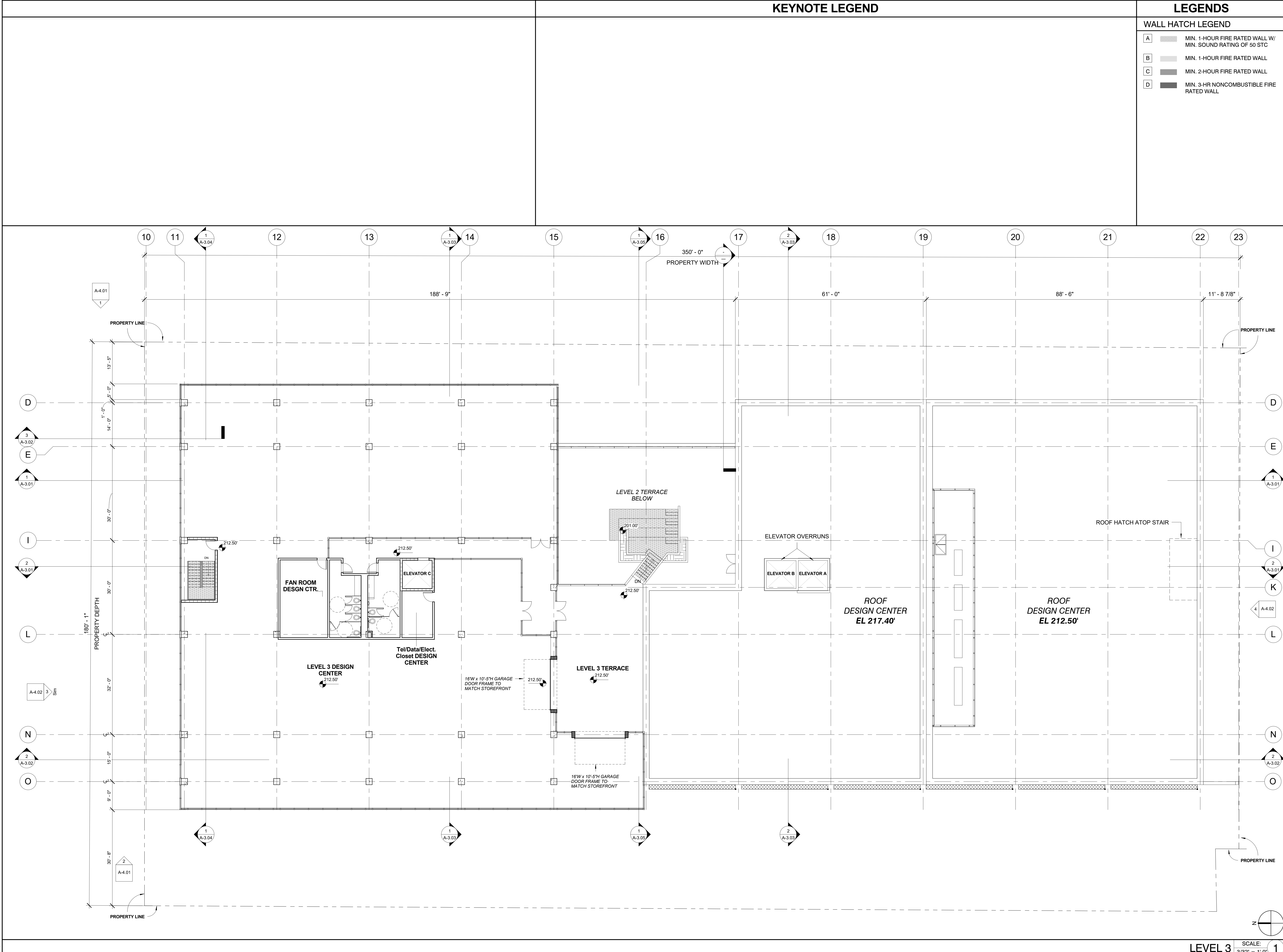
WALL HATCH LEGEND

- A [Hatched Box] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Solid Grey Box] MIN. 1-HOUR FIRE RATED WALL
- C [Dark Grey Box] MIN. 2-HOUR FIRE RATED WALL
- D [Black Box] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL



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LEVEL 3 SCALE: 3/32" = 1'-0" 1

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KEYNOTE LEGEND

LEGENDS

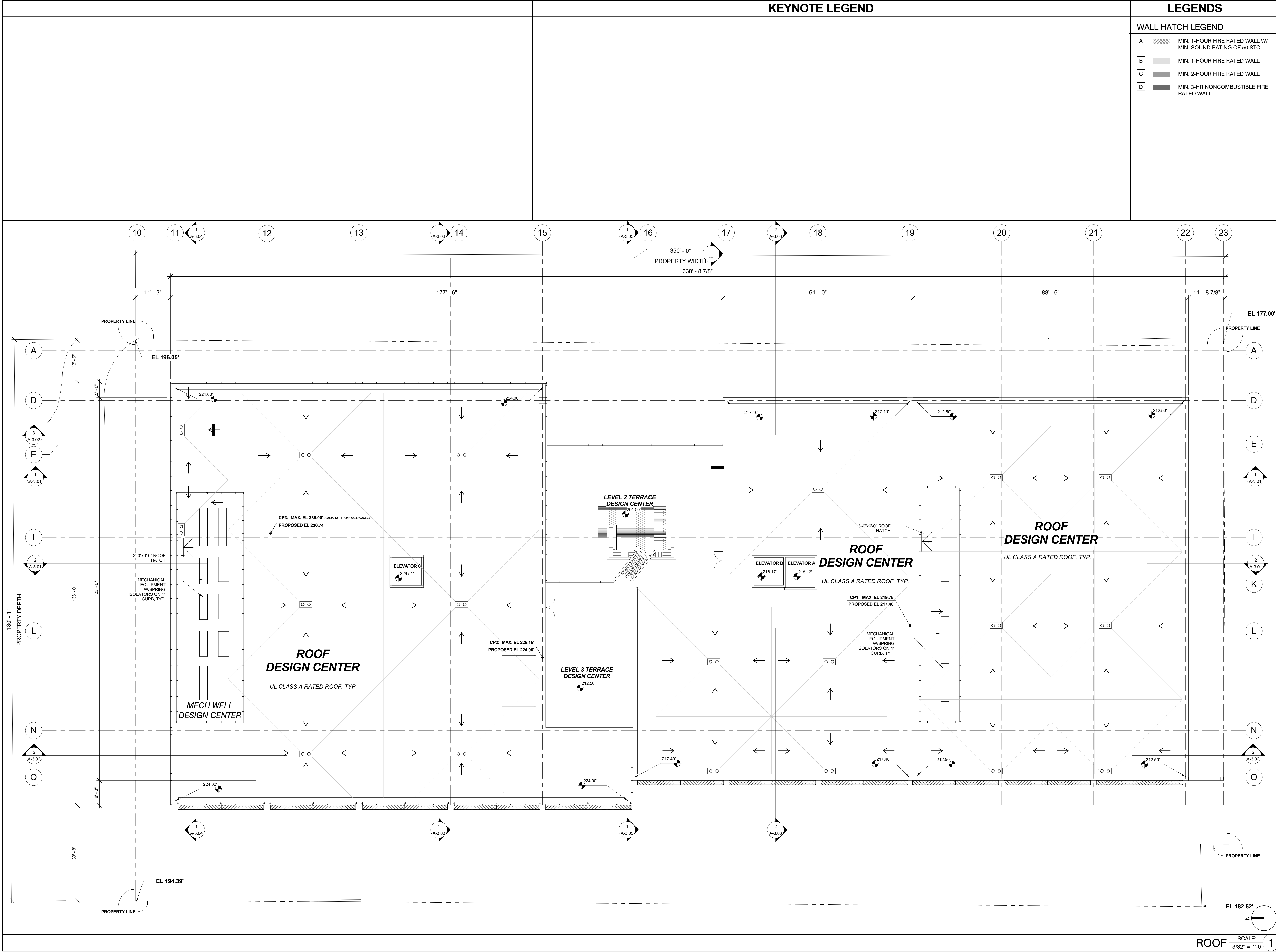
WALL HATCH LEGEND

- A [Hatch] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Hatch] MIN. 1-HOUR FIRE RATED WALL
- C [Hatch] MIN. 2-HOUR FIRE RATED WALL
- D [Hatch] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL



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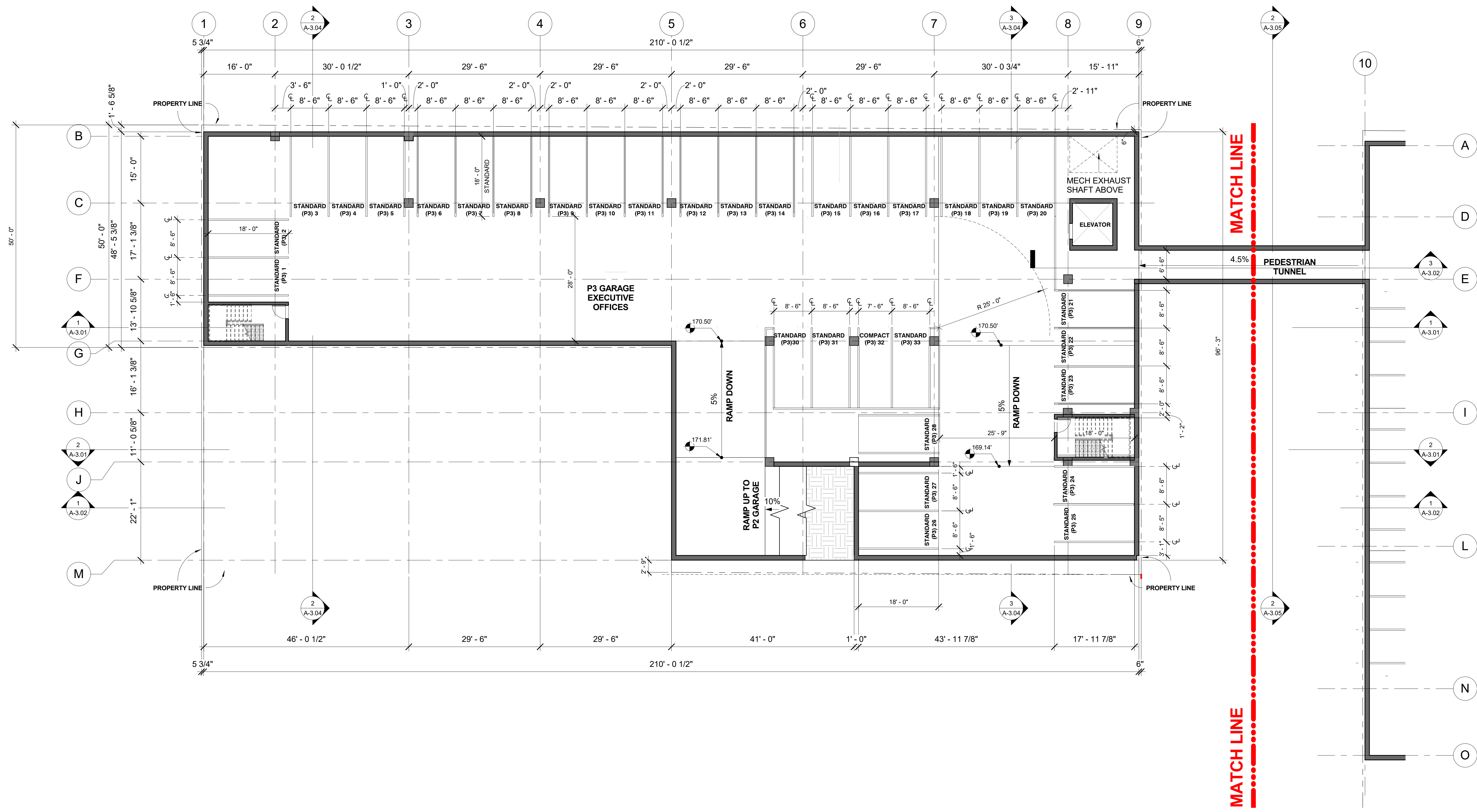
LEGENDS	
A	MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
B	MIN. 1-HOUR FIRE RATED WALL
C	MIN. 2-HOUR FIRE RATED WALL
D	MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

GENERAL NOTES

PARKING PROVIDED EXECUTIVE OFFICES:			
LEVEL	TYPE	DESCRIPTION	QUANTITY
P1	COMMERCIAL	HC (STANDARD/VAN)	04 STALLS
		REGULAR	21 STALLS
P1 TOTAL			25 STALLS
P2	COMMERCIAL	REGULAR	29 STALLS
		COMPACT	01 STALLS
P2 TOTAL			30 STALLS
P3	COMMERCIAL	REGULAR	31 STALLS
		COMPACT	01 STALLS
P3 TOTAL			32 STALLS
EXECUTIVE OFFICES TOTAL			87 STALLS

CHECK:
 TOTAL 87 SPACES FOR EXECUTIVE OFFICES PROVIDED; 87 STALL **REQUIREMENT MET**
 4 HC SPACES PROVIDED FOR EXECUTIVE OFFICES; 4 REQ. **REQUIREMENT MET**
 TOTAL 2 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. **REQUIREMENT MET**

KEYNOTES



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LEGENDS

GENERAL NOTES

PARKING

KEYNOTES

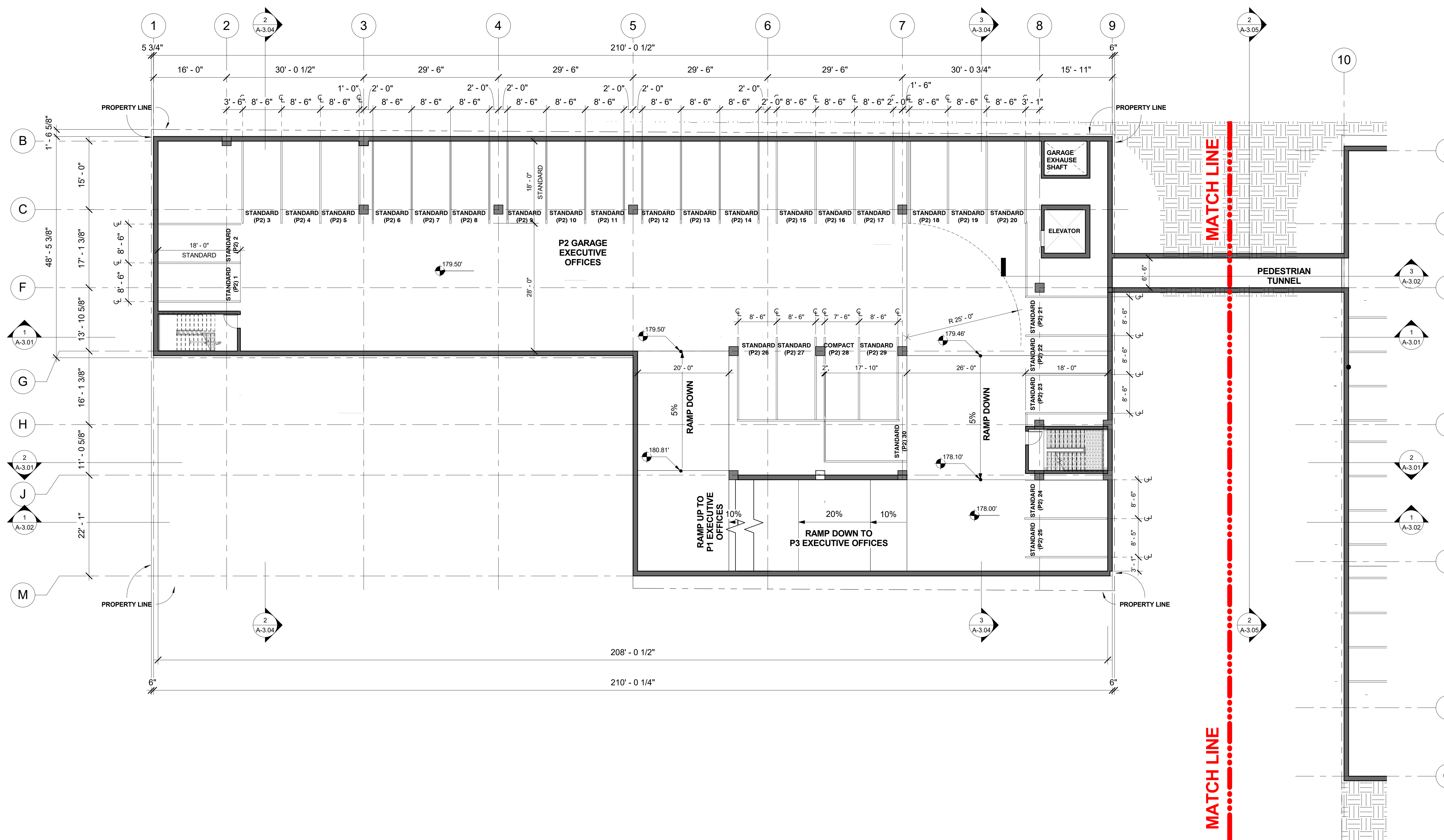
WALL HATCH LEGEND

- A MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B MIN. 1-HOUR FIRE RATED WALL
- C MIN. 2-HOUR FIRE RATED WALL
- D MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

PARKING PROVIDED EXECUTIVE OFFICES:

LEVEL	TYPE	DESCRIPTION	QUANTITY
P1	COMMERCIAL	HC (STANDARD/VAN)	04 STALLS
		REGULAR	21 STALLS
P1 TOTAL			25 STALLS
P2	COMMERCIAL	REGULAR	29 STALLS
		COMPACT	01 STALLS
P2 TOTAL			30 STALLS
P3	COMMERCIAL	REGULAR	31 STALLS
		COMPACT	01 STALLS
P3 TOTAL			32 STALLS
EXECUTIVE OFFICES TOTAL			87 STALLS

CHECK:
 TOTAL 87 SPACES FOR EXECUTIVE OFFICES PROVIDED; 87 STALL **REQUIREMENT MET**
 4 HC SPACES PROVIDED FOR EXECUTIVE OFFICES; 4 REQ.; **REQUIREMENT MET**
 TOTAL 2 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. **REQUIREMENT MET**



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LEGENDS

GENERAL NOTES

PARKING

KEYNOTES

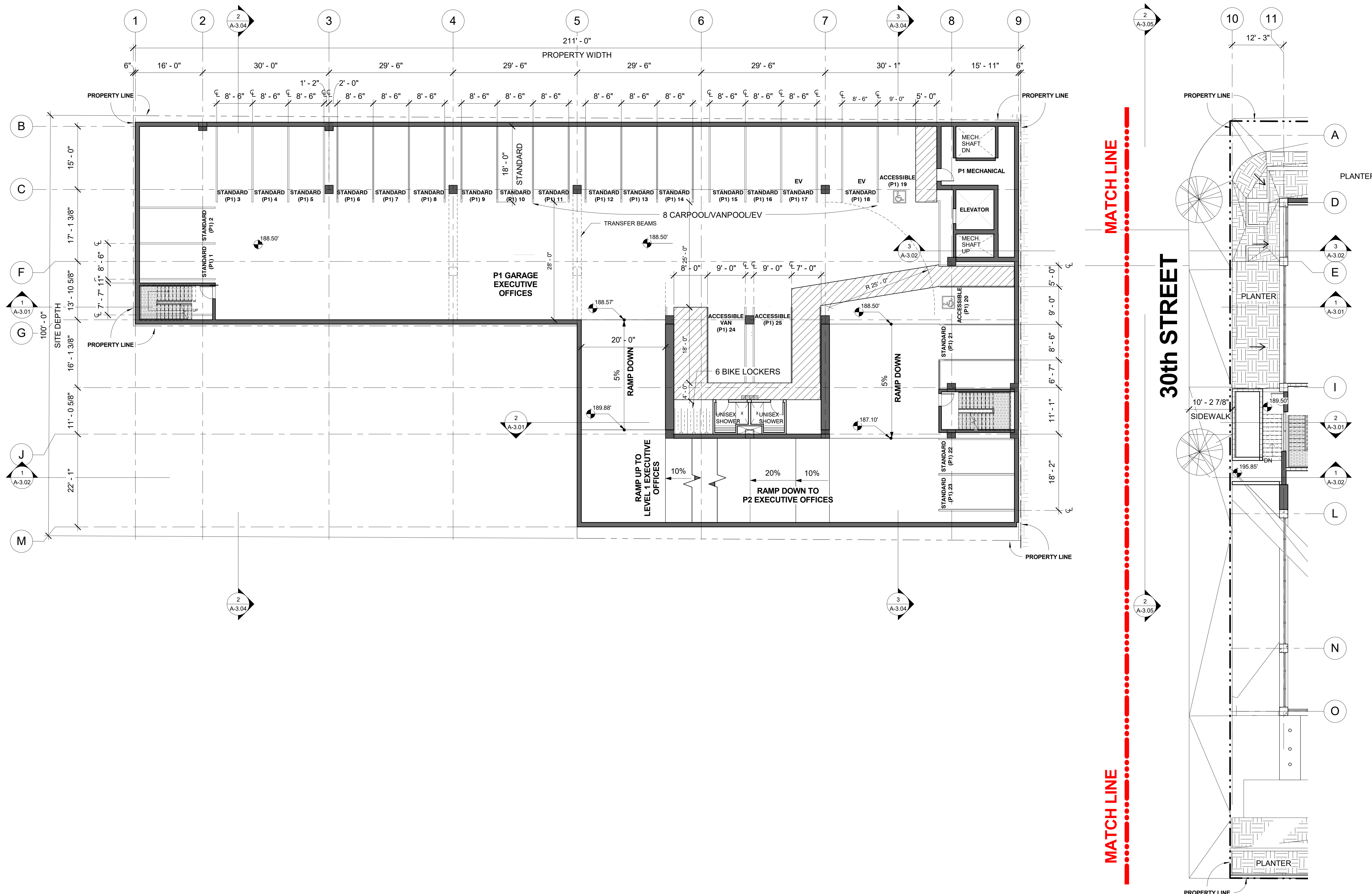
WALL HATCH LEGEND

- A MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B MIN. 1-HOUR FIRE RATED WALL
- C MIN. 2-HOUR FIRE RATED WALL
- D MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

PARKING PROVIDED EXECUTIVE OFFICES:

LEVEL	TYPE	DESCRIPTION	QUANTITY
P1	COMMERCIAL	HC (STANDARD/VAN)	04 STALLS
		REGULAR	21 STALLS
P1 TOTAL			25 STALLS
P2	COMMERCIAL	REGULAR	29 STALLS
		COMPACT	01 STALLS
P2 TOTAL			30 STALLS
P3	COMMERCIAL	REGULAR	31 STALLS
		COMPACT	01 STALLS
P3 TOTAL			32 STALLS
EXECUTIVE OFFICES TOTAL			87 STALLS

CHECK:
 TOTAL 87 SPACES FOR EXECUTIVE OFFICES PROVIDED; 87 STALL **REQUIREMENT MET**
 4 HC SPACES PROVIDED FOR EXECUTIVE OFFICES; 4 REQ. **REQUIREMENT MET**
 TOTAL 2 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. **REQUIREMENT MET**



KEYNOTE LEGEND

LEGENDS

WALL HATCH LEGEND

- A [Hatch] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Hatch] MIN. 1-HOUR FIRE RATED WALL
- C [Hatch] MIN. 2-HOUR FIRE RATED WALL
- D [Hatch] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

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 info@dfh.com
 www.dfh.com



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 2901 Pacific Coast Highway
 Hermosa Beach, CA 90254

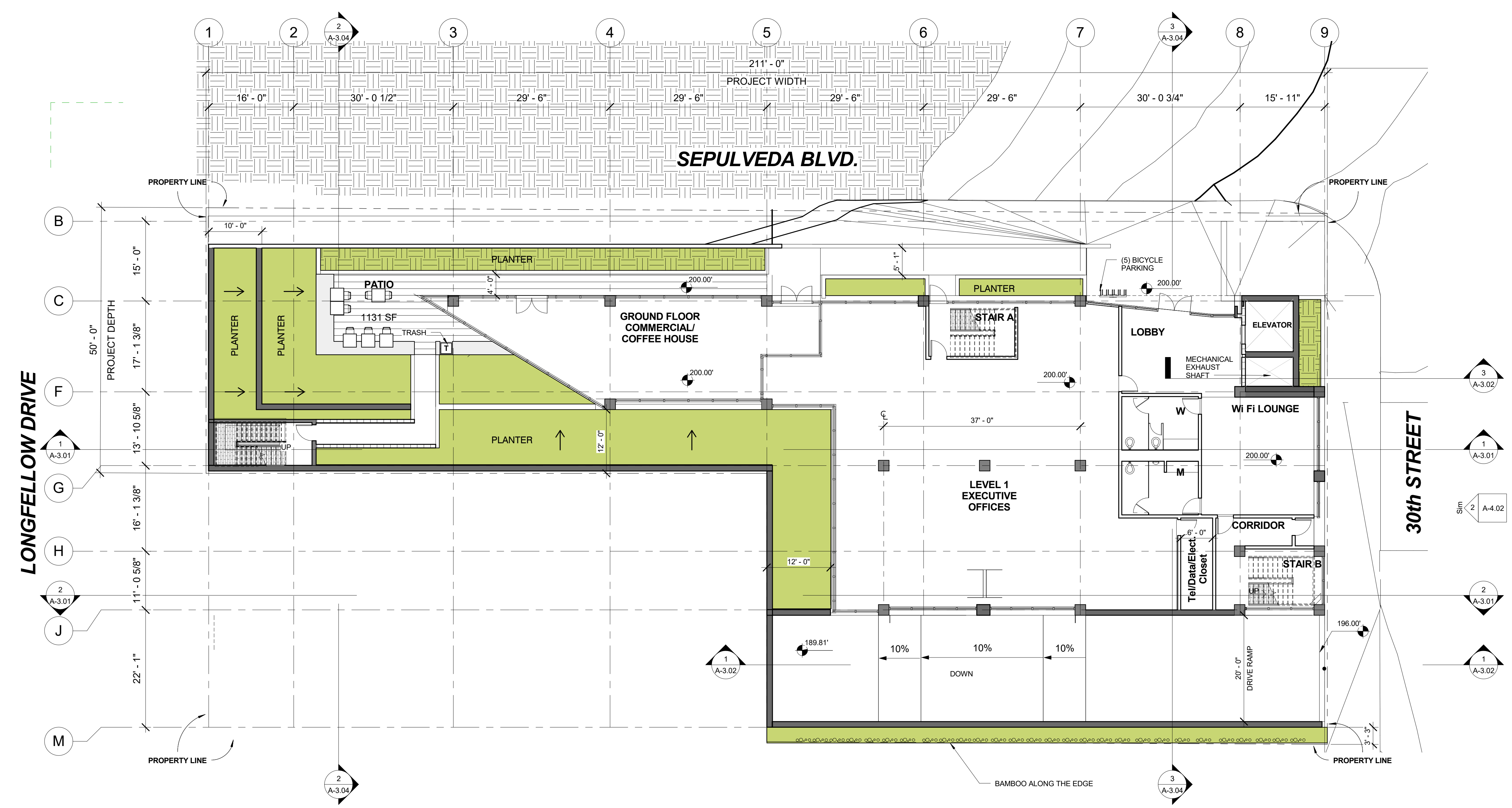
LEVEL 1 - EXECUTIVE OFFICES



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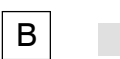
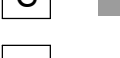



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KEYNOTE LEGEND

LEGENDS

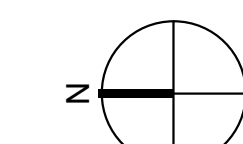
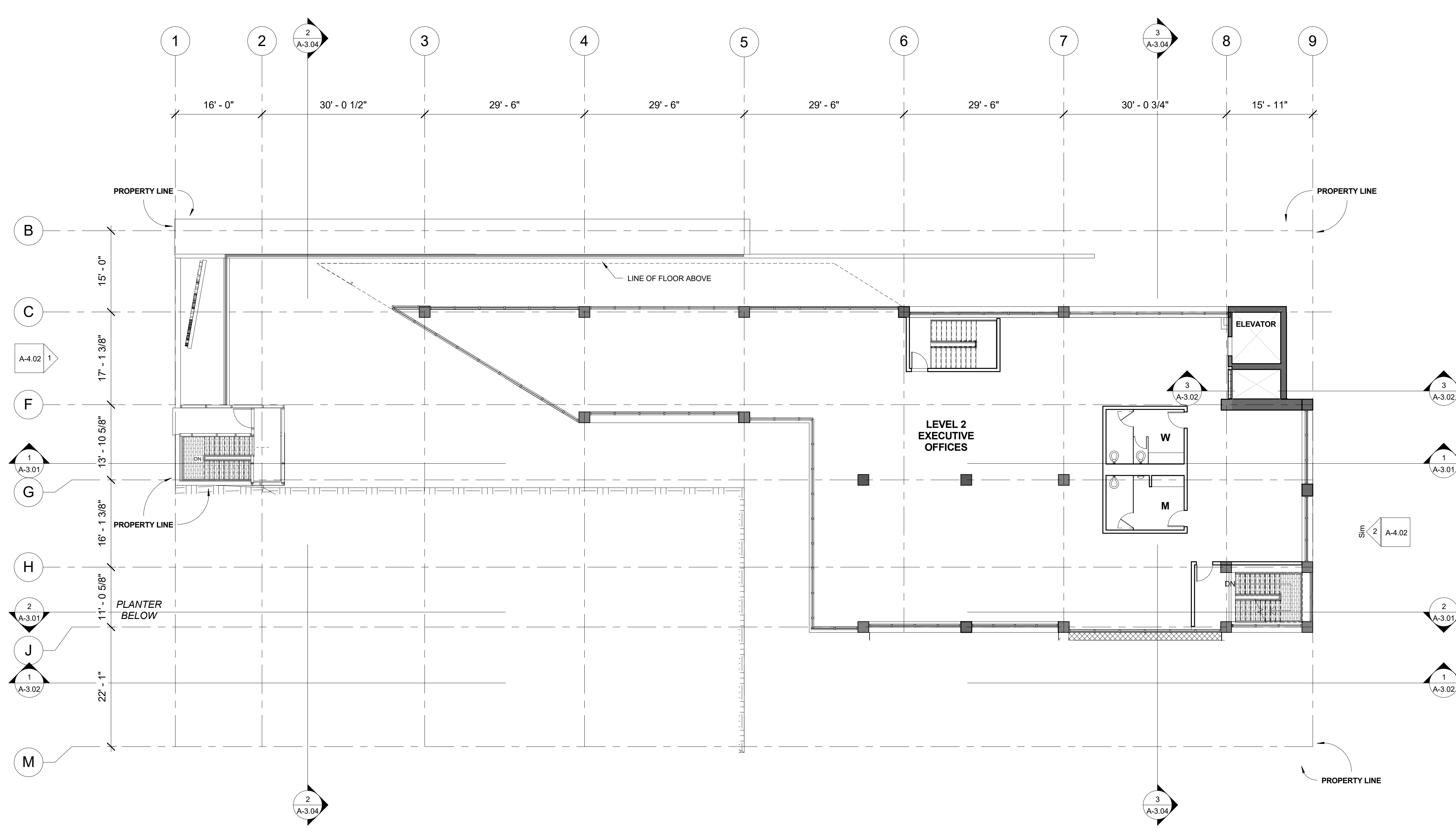
WALL HATCH LEGEND

- A  MIN. 1-HOUR FIRE RATED WALL W/
MIN. SOUND RATING OF 50 STC
- B  MIN. 1-HOUR FIRE RATED WALL
- C  MIN. 2-HOUR FIRE RATED WALL
- D  MIN. 3-HR NONCOMBUSTIBLE FIRE
RATED WALL



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KEYNOTE LEGEND

LEGENDS

WALL HATCH LEGEND

- A [Hatched Box] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Solid Grey Box] MIN. 1-HOUR FIRE RATED WALL
- C [Dark Grey Box] MIN. 2-HOUR FIRE RATED WALL
- D [Black Box] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

1544 20th Street 3rd Fl. CA
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LEVEL 3 - EXECUTIVE OFFICES



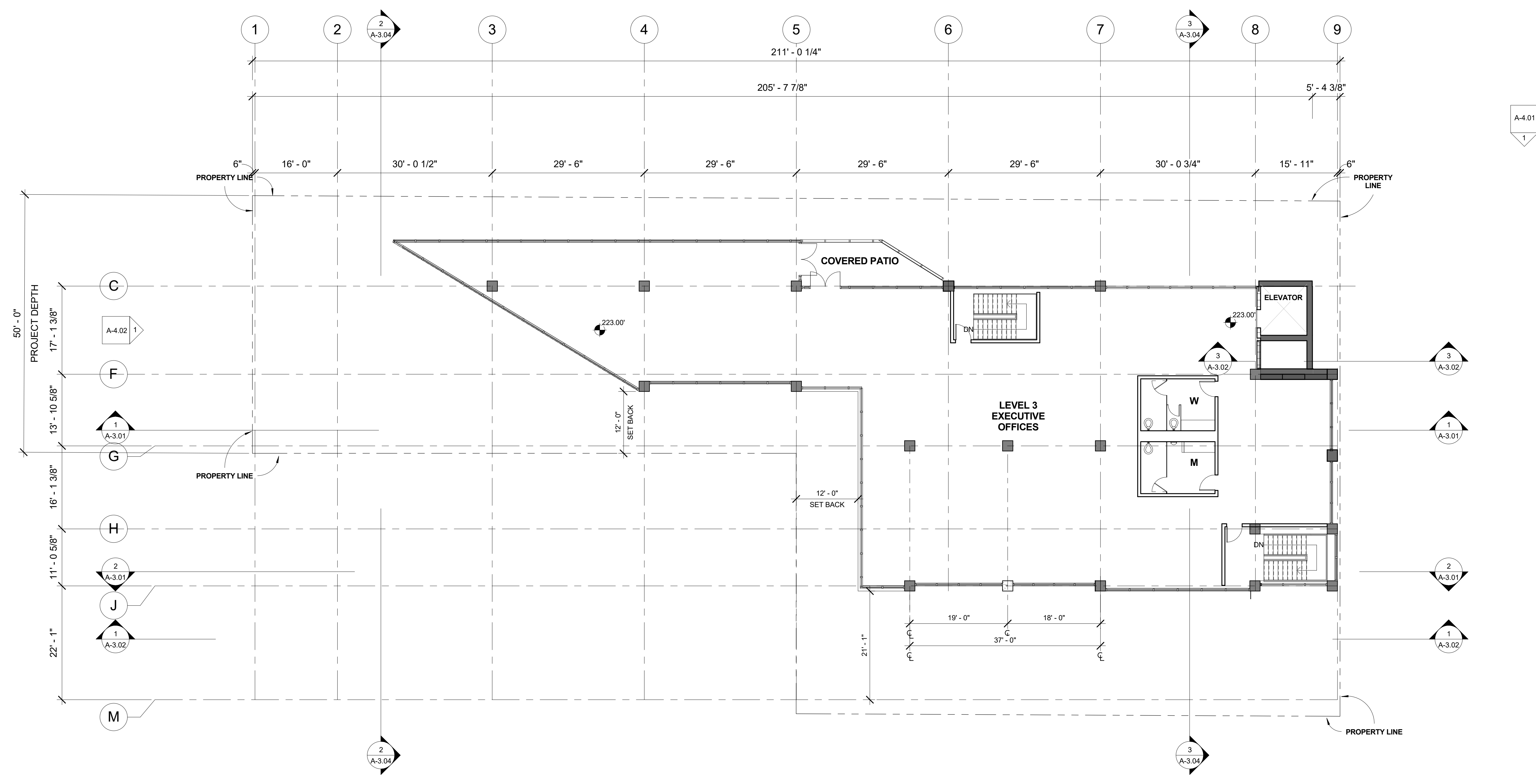
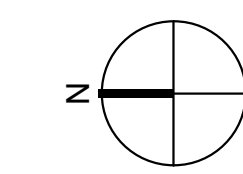
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LEVEL 3 EXEC OFF SCALE: 3/32" = 1'-0"



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KEYNOTE LEGEND

LEGENDS

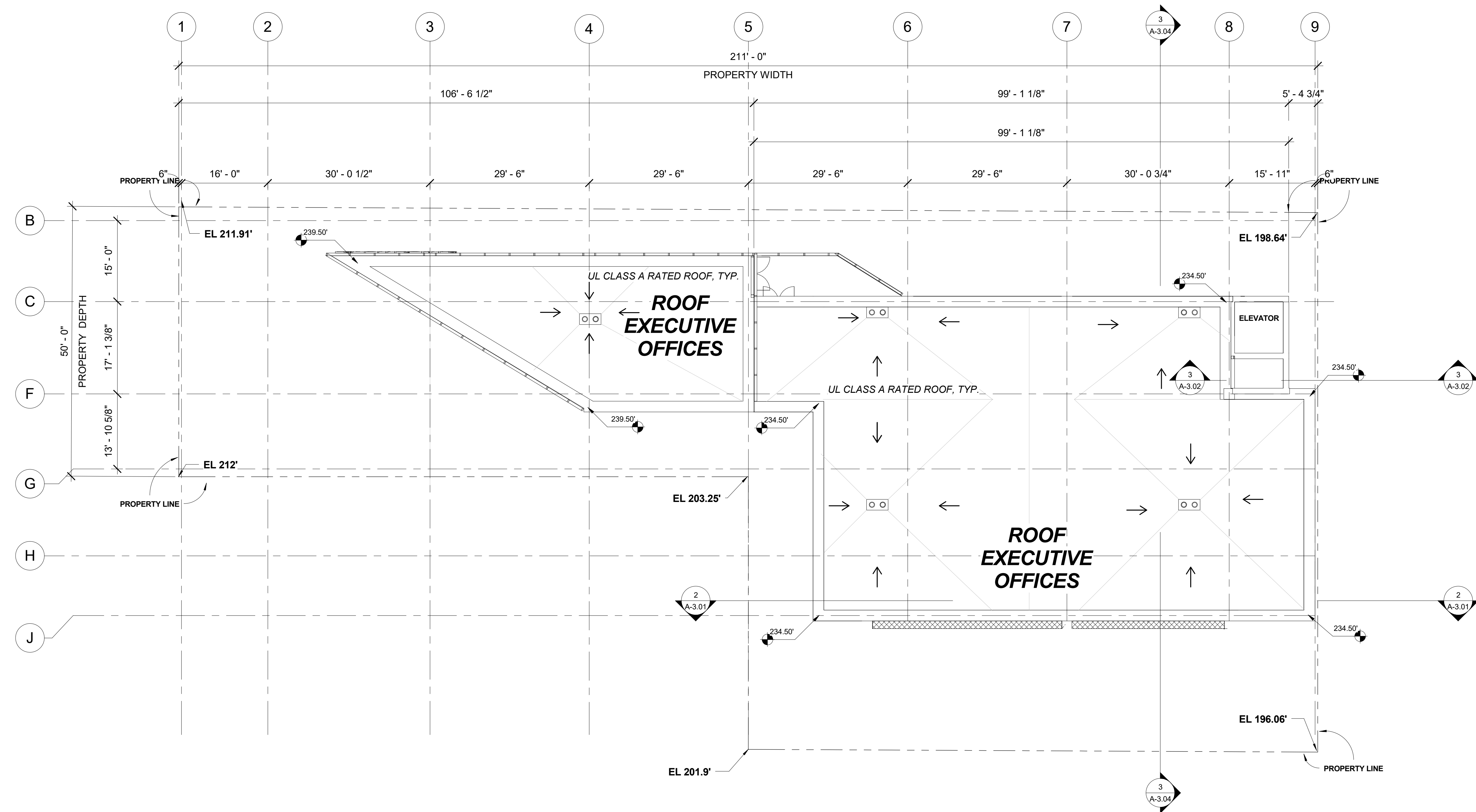
WALL HATCH LEGEND

- A [Hatched Box] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Solid Grey Box] MIN. 1-HOUR FIRE RATED WALL
- C [Dark Grey Box] MIN. 2-HOUR FIRE RATED WALL
- D [Black Box] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

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 info@dfhaia.com
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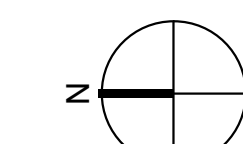


ROOF PLAN - EXECUTIVE OFFICES



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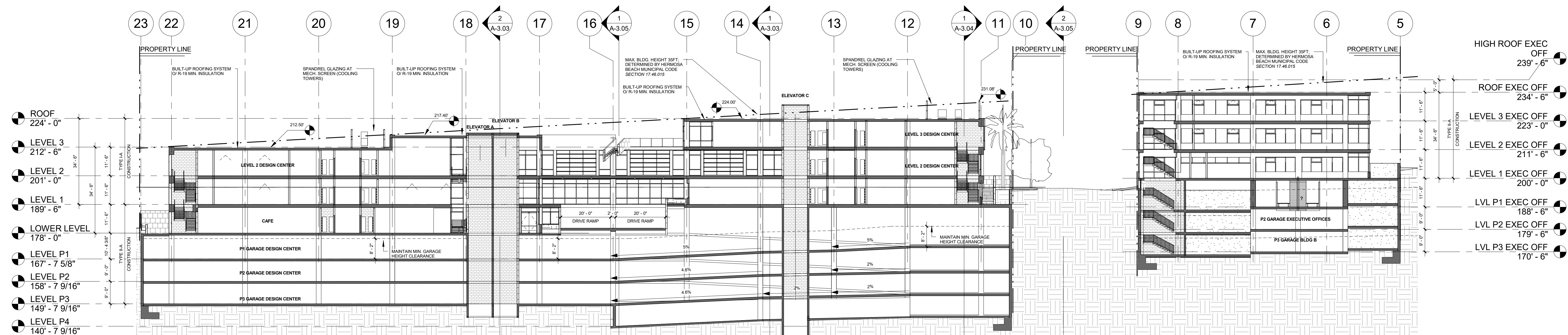
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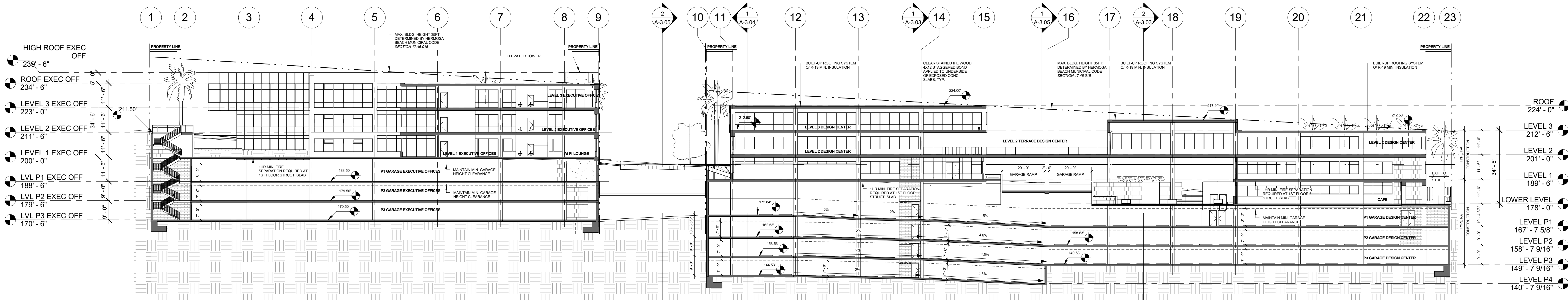
LEGENDS

WALL HATCH LEGEND

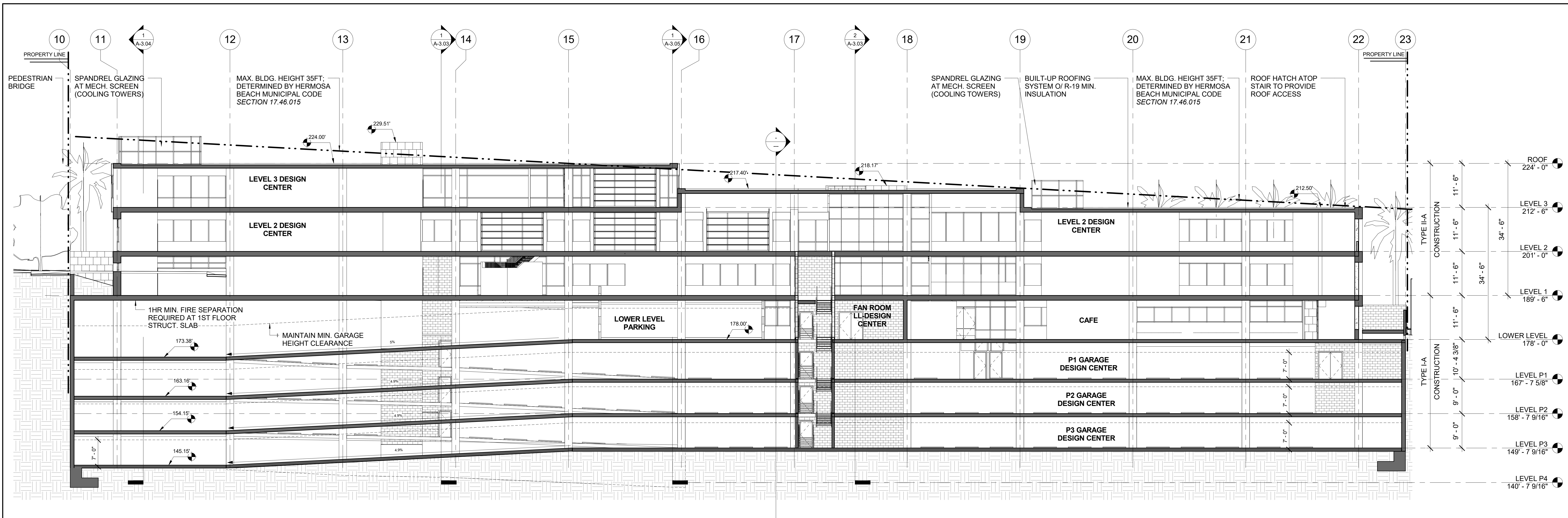
- A** MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B** MIN. 1-HOUR FIRE RATED WALL
- C** MIN. 2-HOUR FIRE RATED WALL
- D** MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL



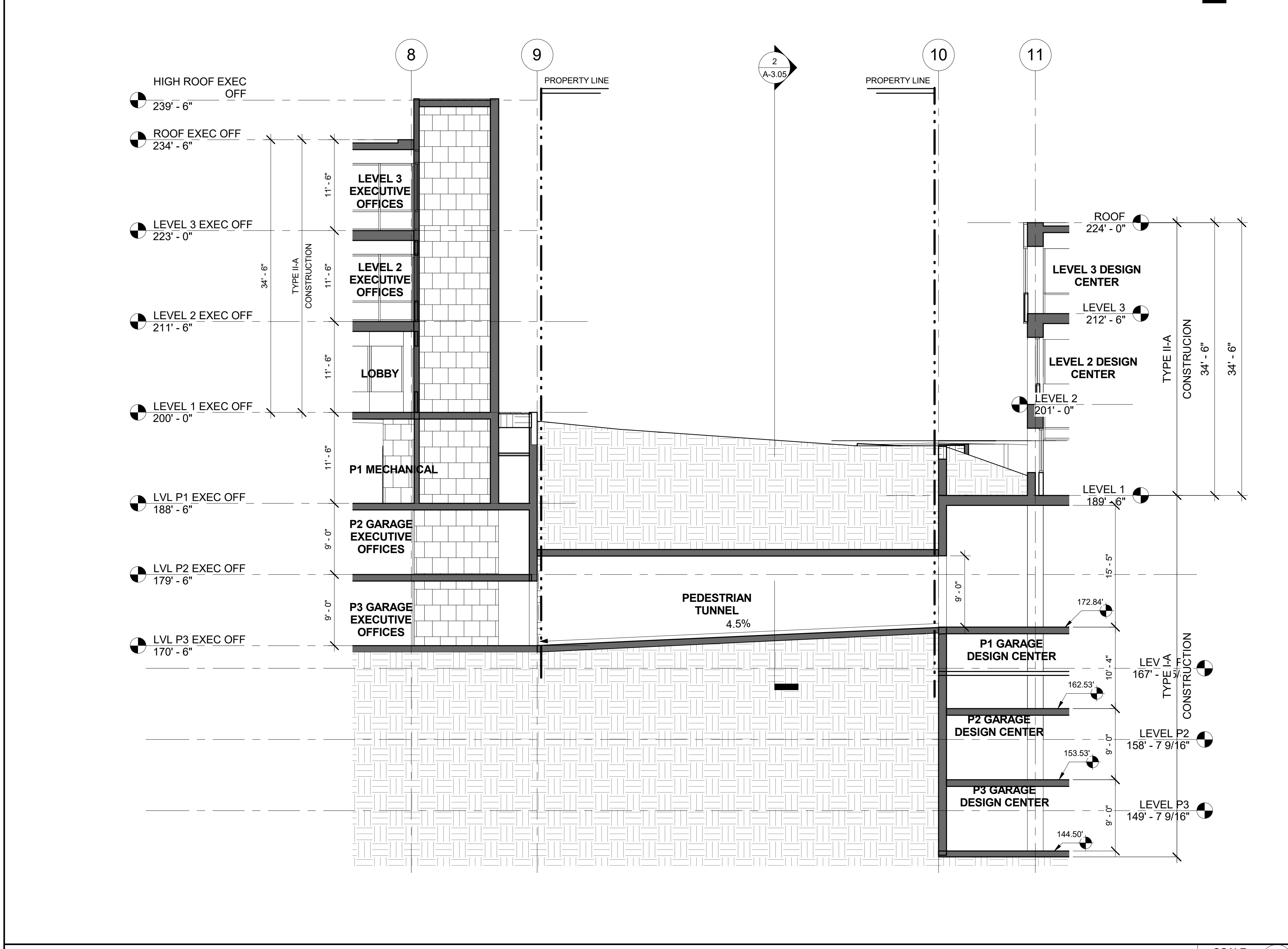
Longitudinal - West Facing SCALE: 1" = 20'-0" 2



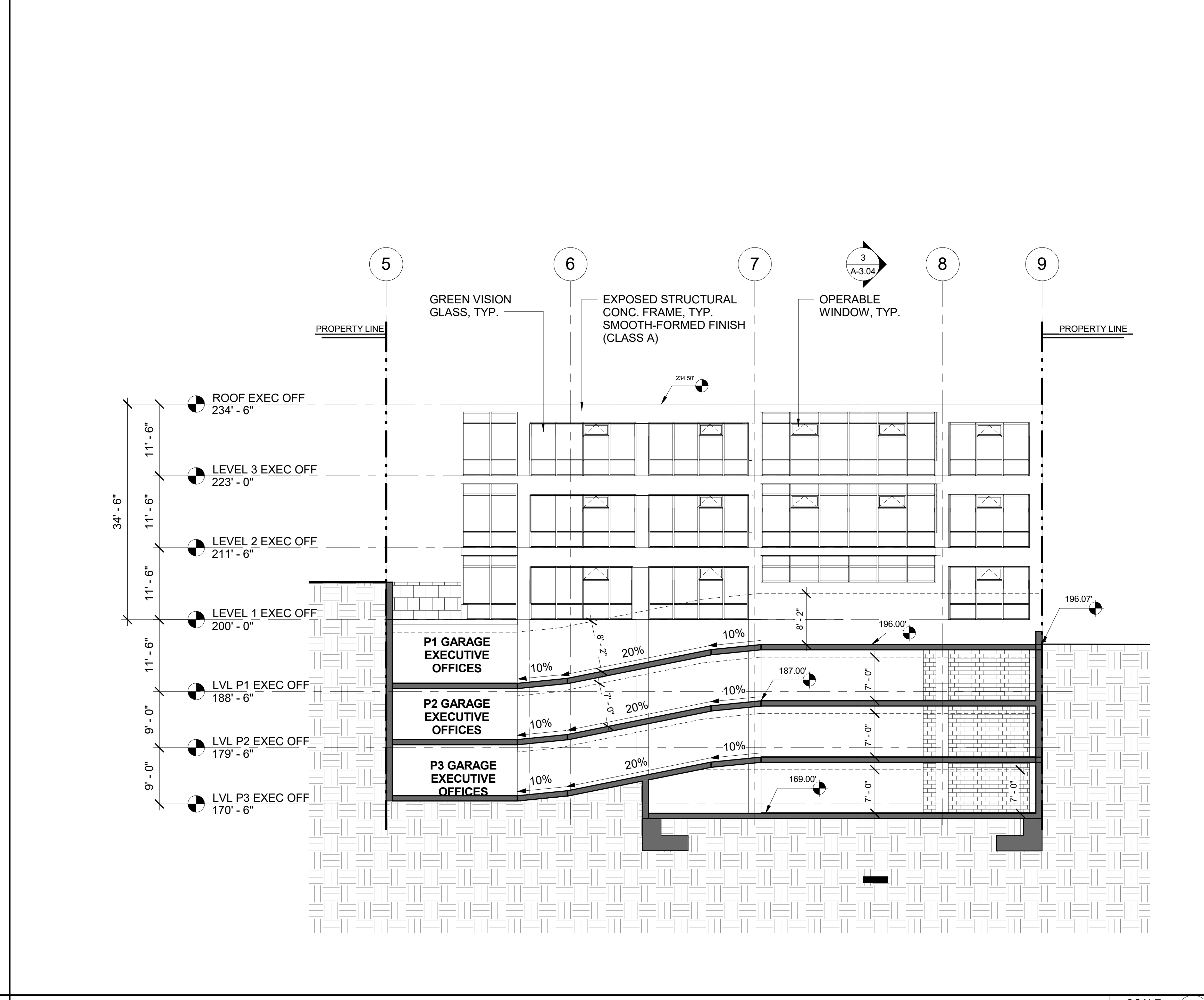
Longitudinal - East Facing SCALE: 1" = 20'-0" 1



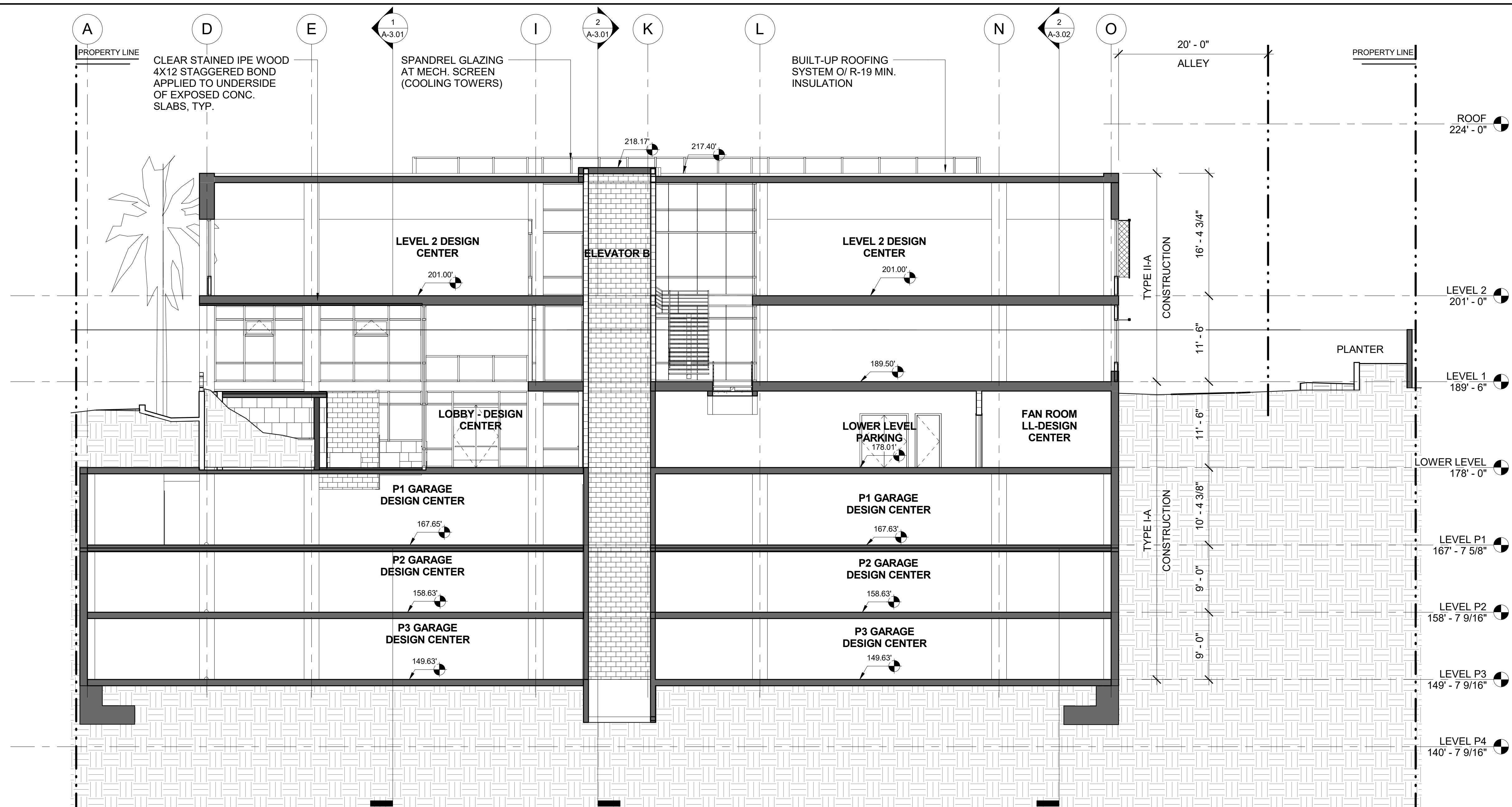
Longitudinal - Design Center SCALE: 3/32" = 1'-0" 2



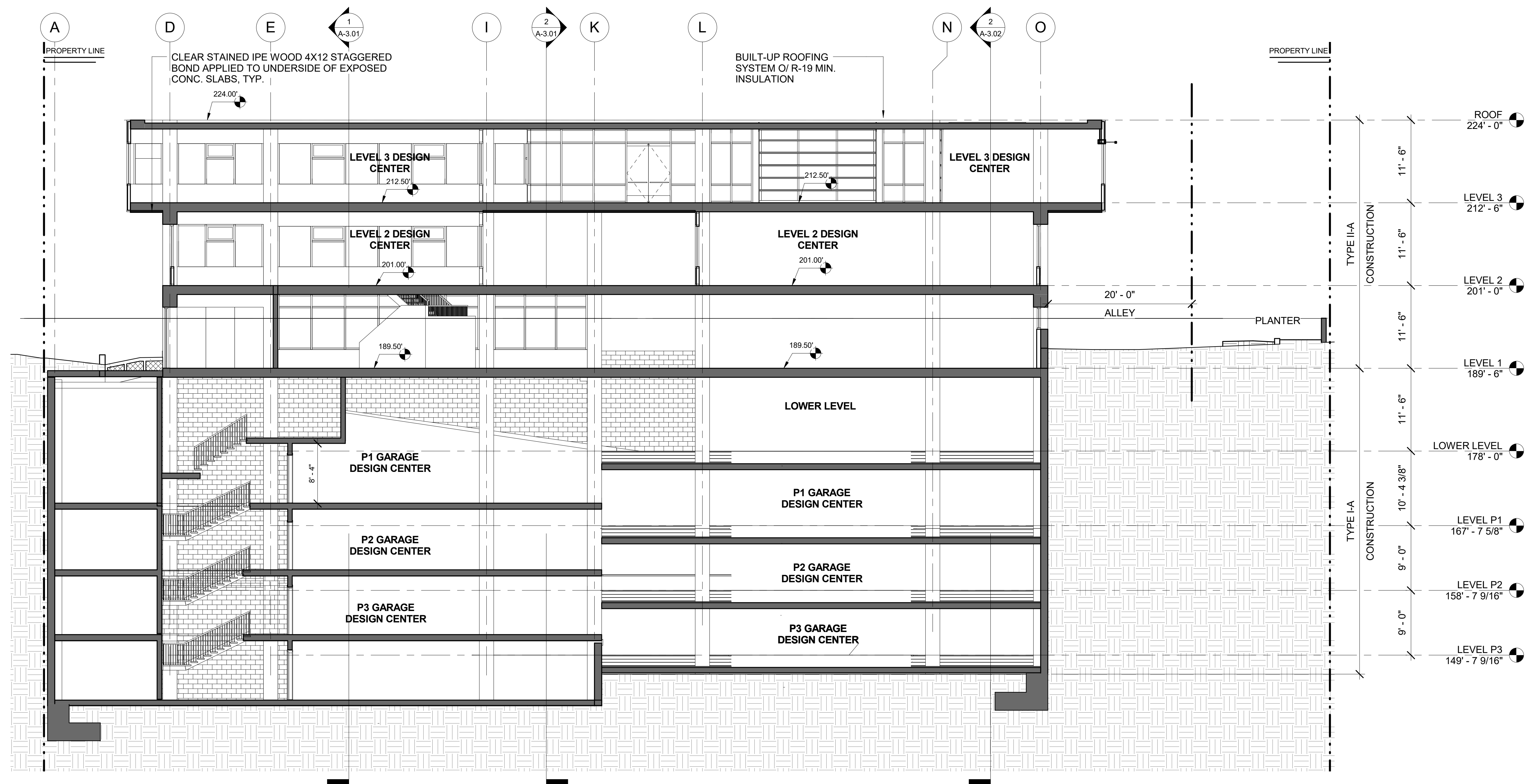
Longitudinal - Tunnel SCALE: 1/8" = 1'-0" 3



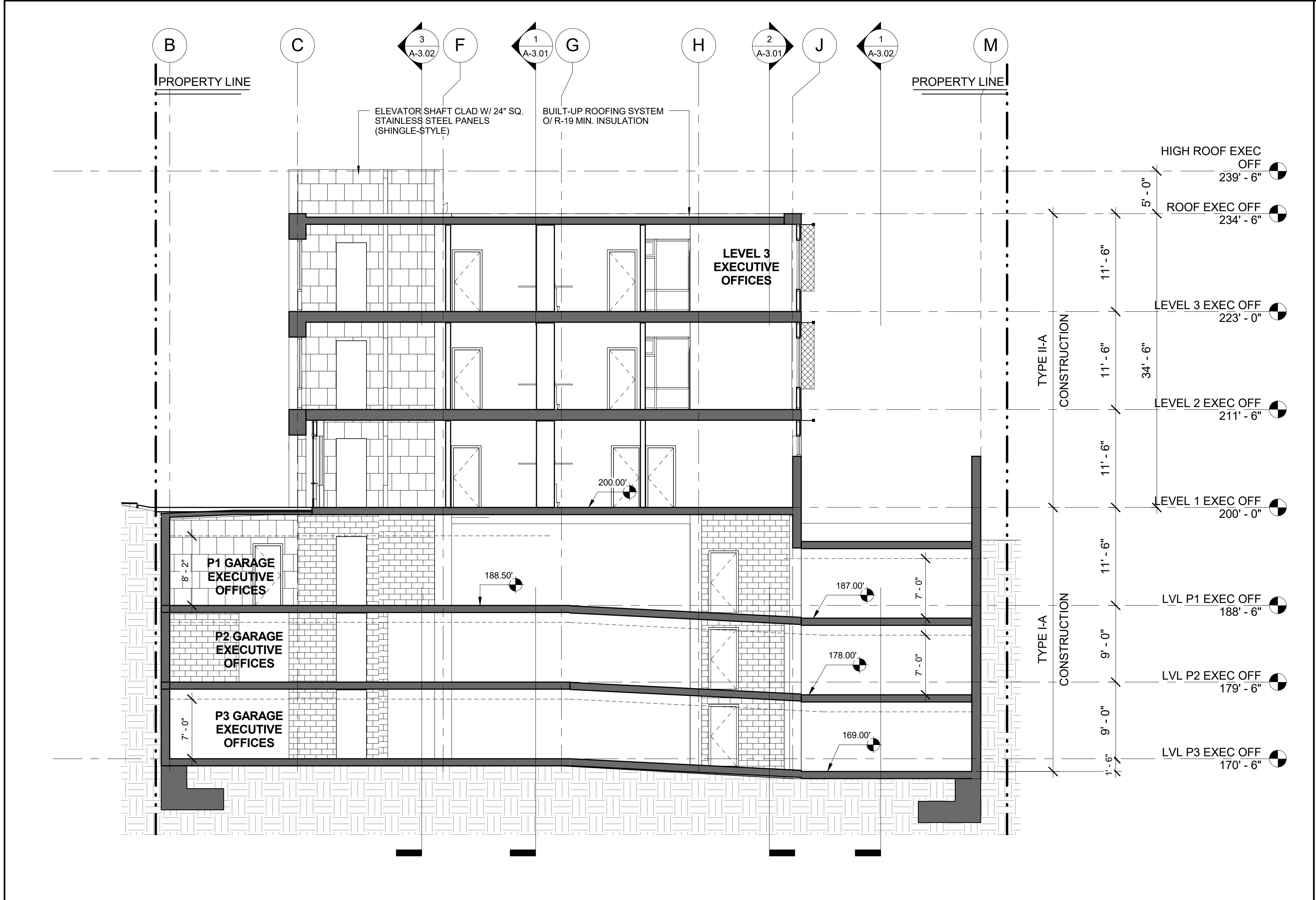
Longitudinal - Executive Offices SCALE: 3/32" = 1'-0" 1



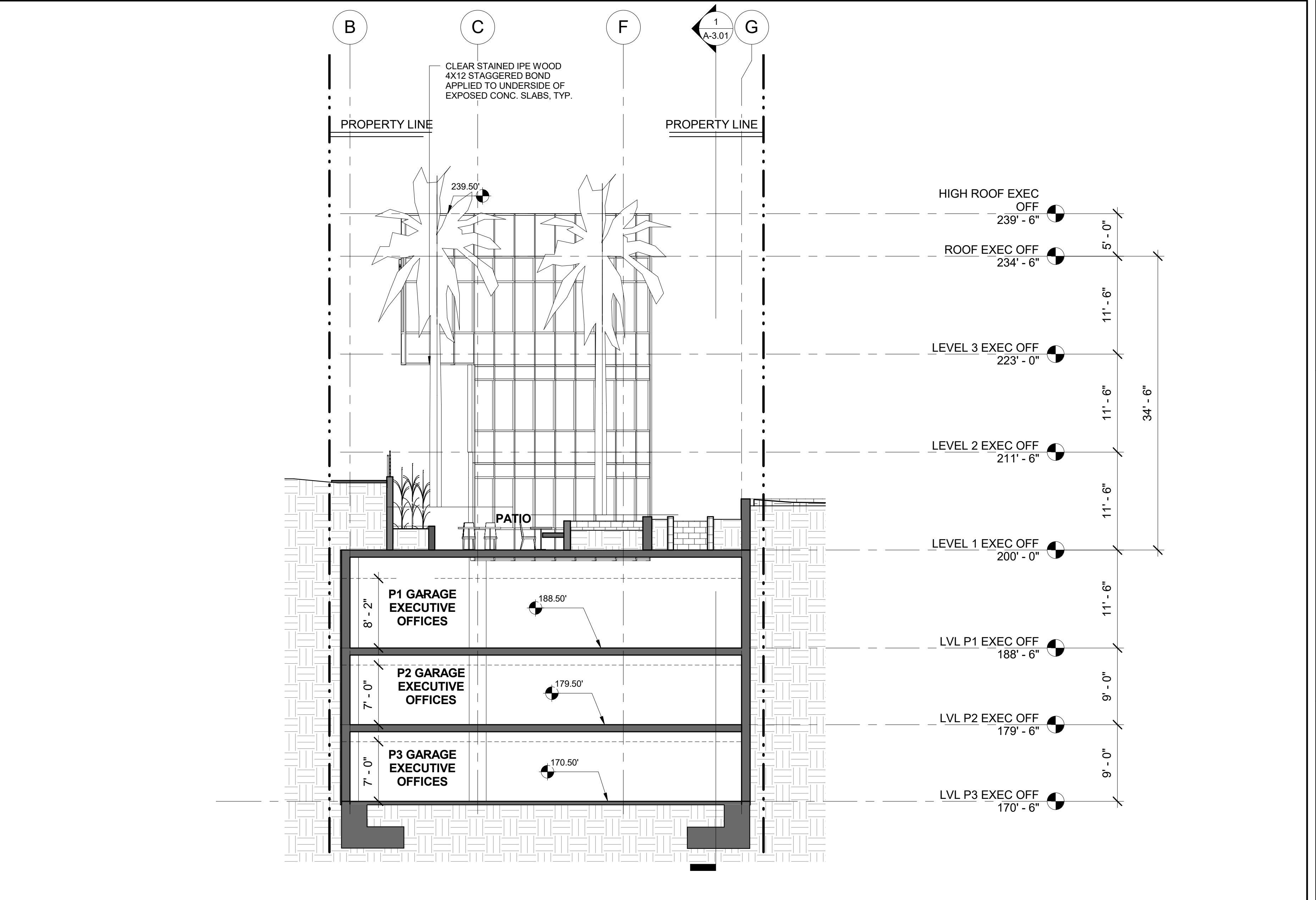
Transverse - Design Center @ Grid 17 SCALE: 1/8" = 1'-0" 2



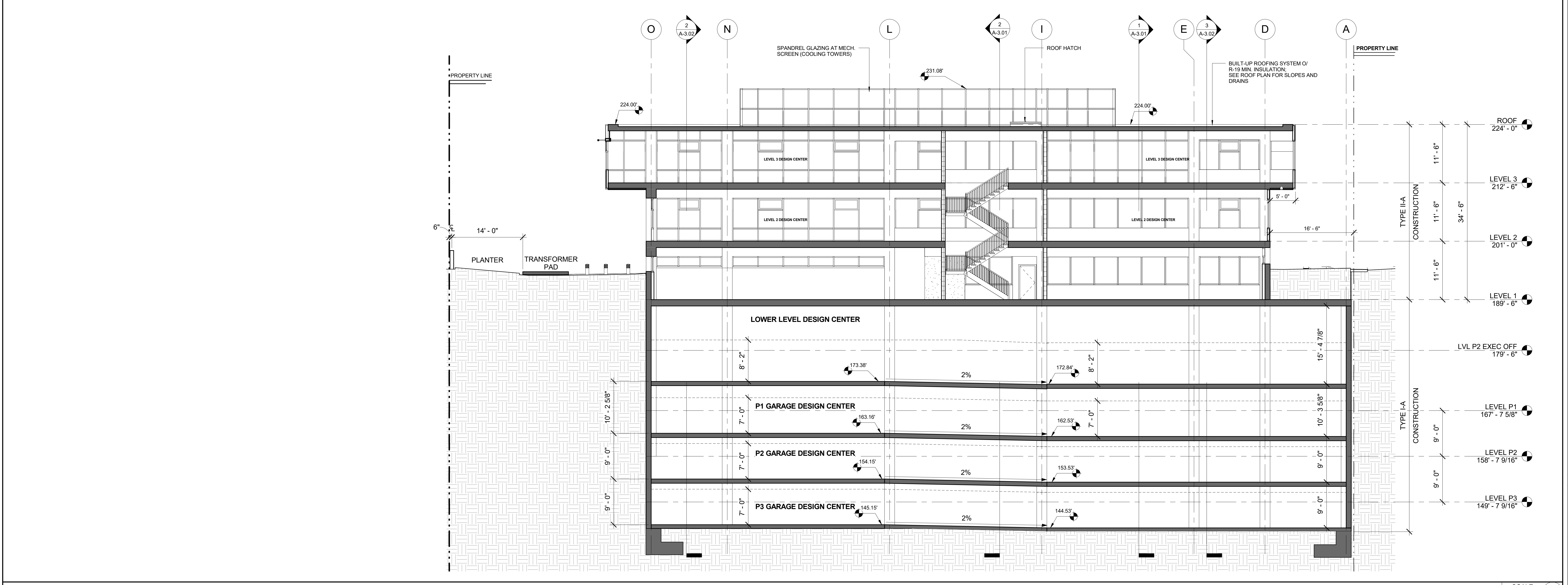
Transverse - Design Center @ Grid 14 SCALE: 1/8" = 1'-0" 1



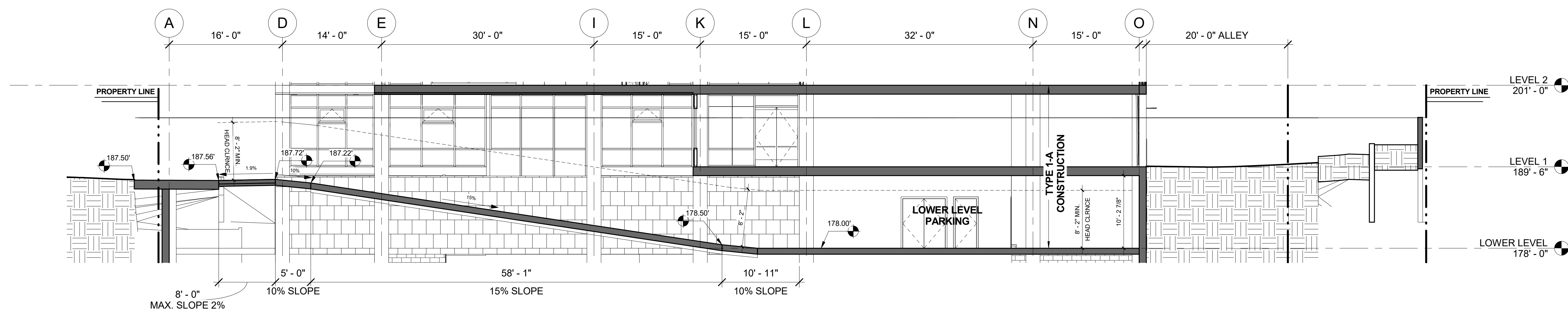
Transverse - Building B @ Grid 7 SCALE: 1/8" = 1'-0" 3



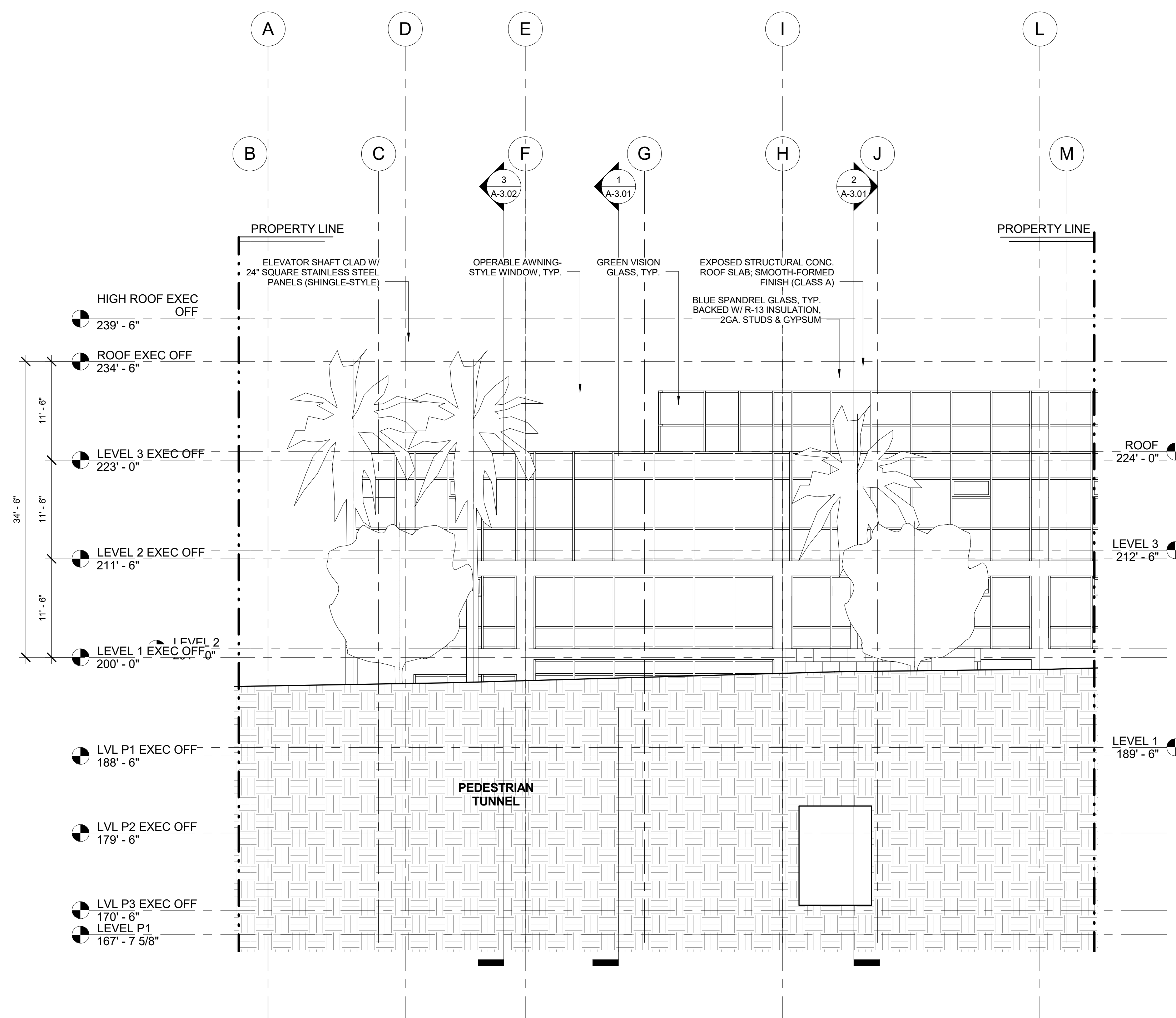
Transverse - Executive Offices @ Grid 2 SCALE: 1/8" = 1'-0" 2



Transverse - Design Center @ Grid 11 SCALE: 1/8" = 1'-0" 1



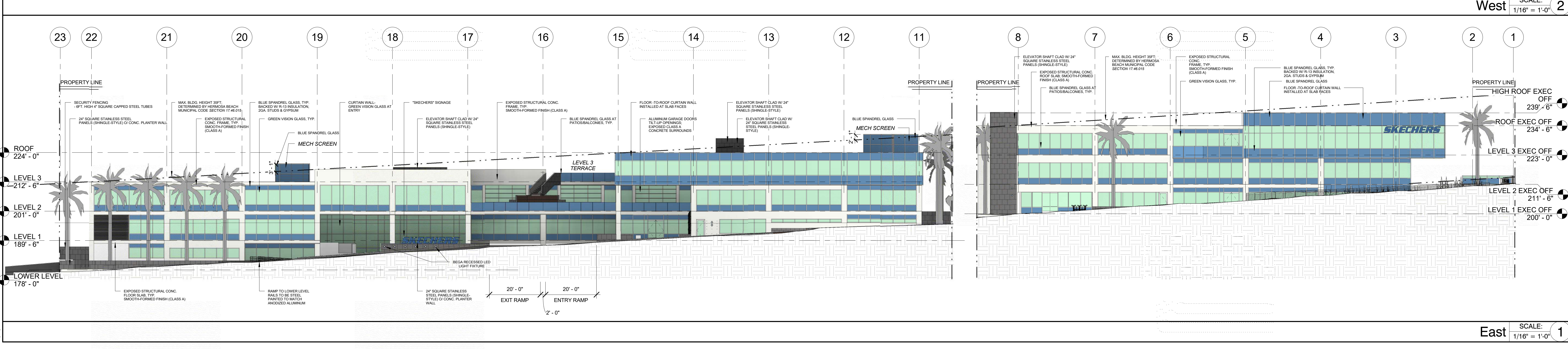
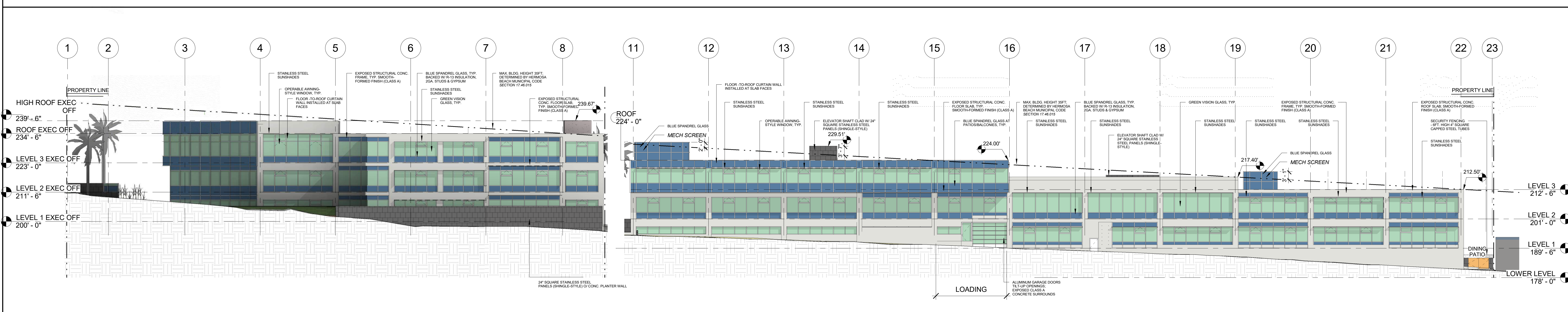
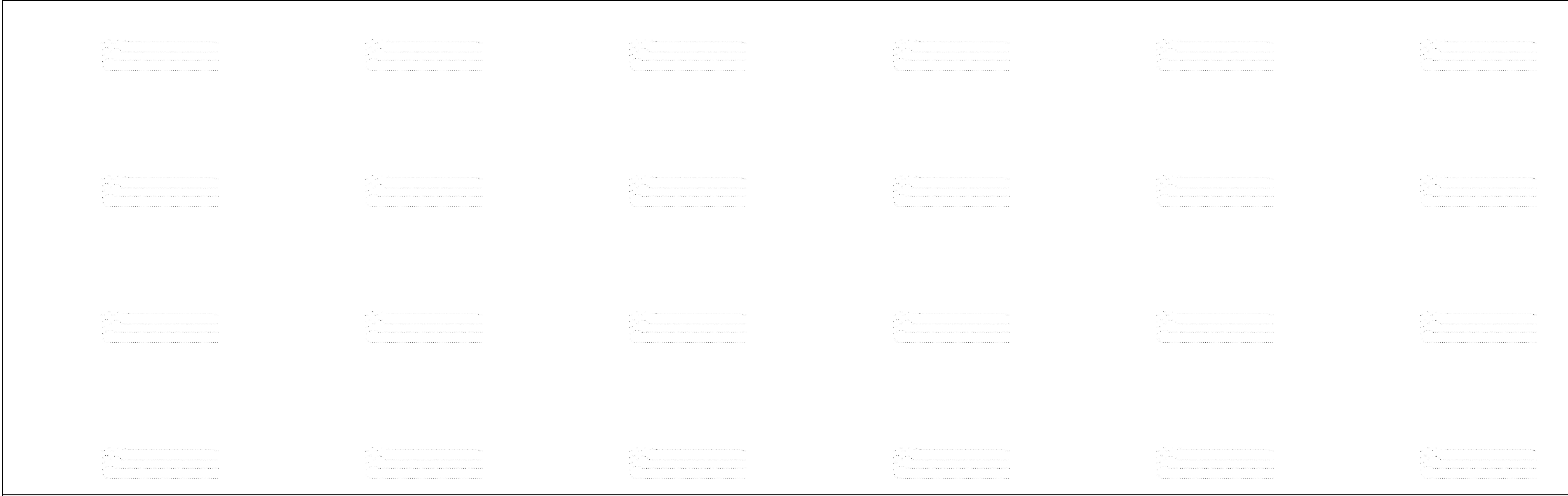
Transverse - Garage Entry Ramp SCALE: 1/8" = 1'-0" 1

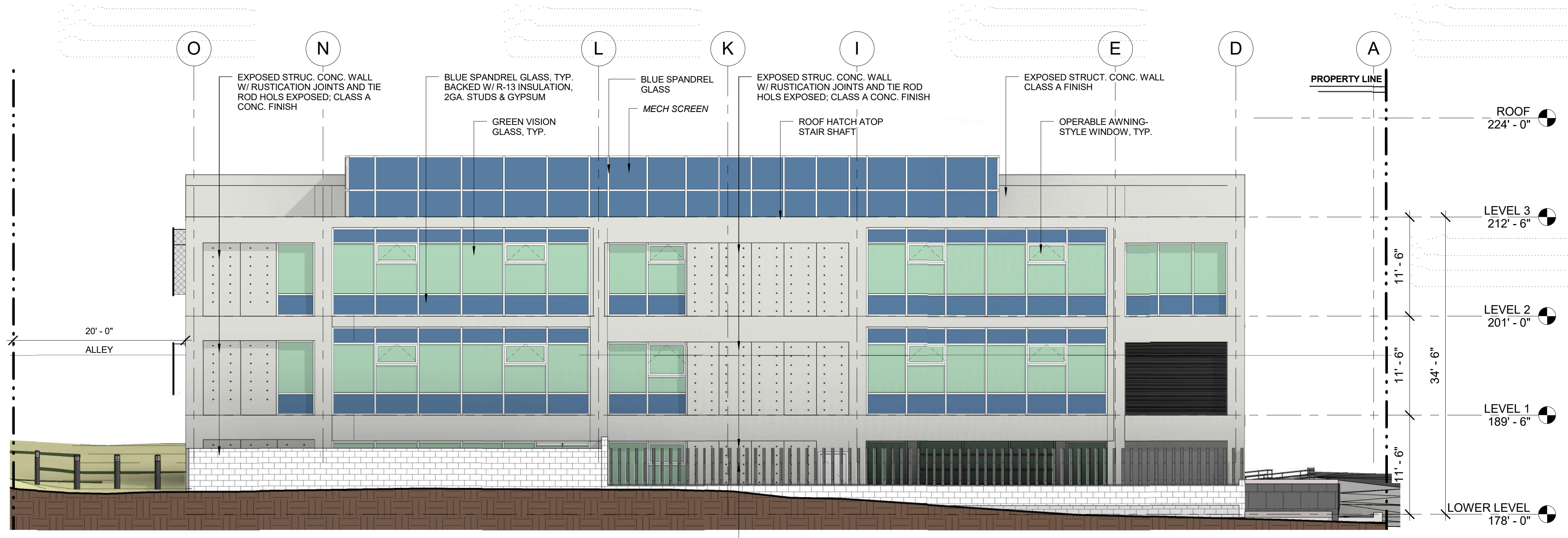


Transverse - Tunnel SCALE: 1/8" = 1'-0" 2

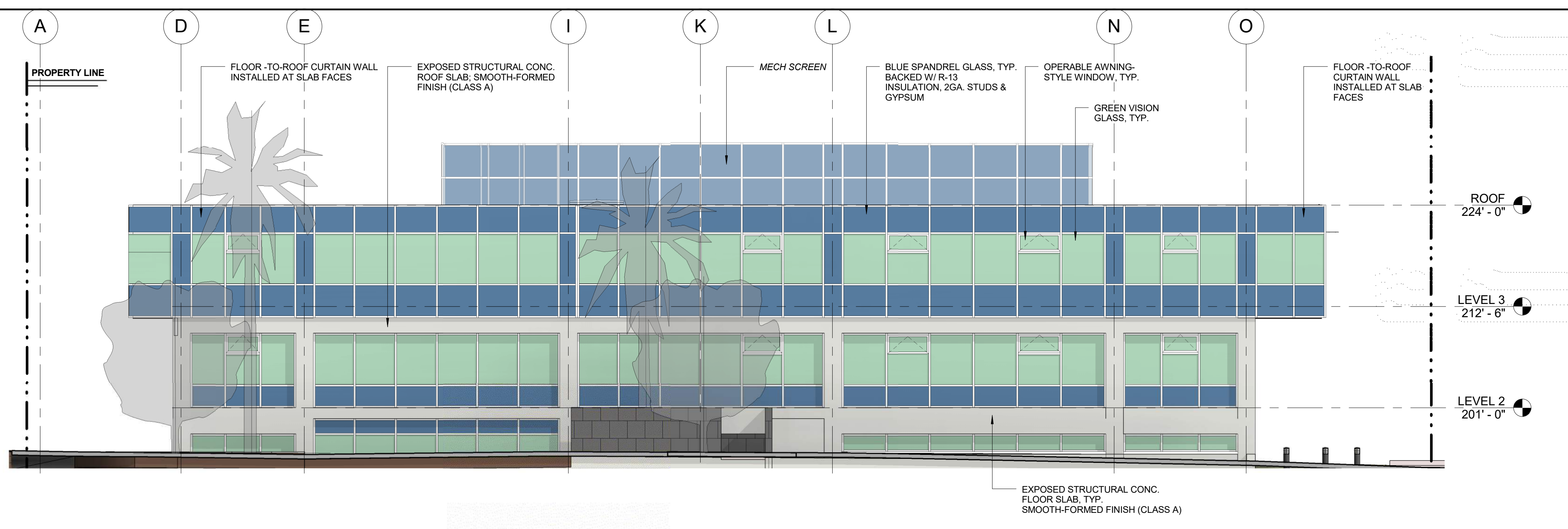
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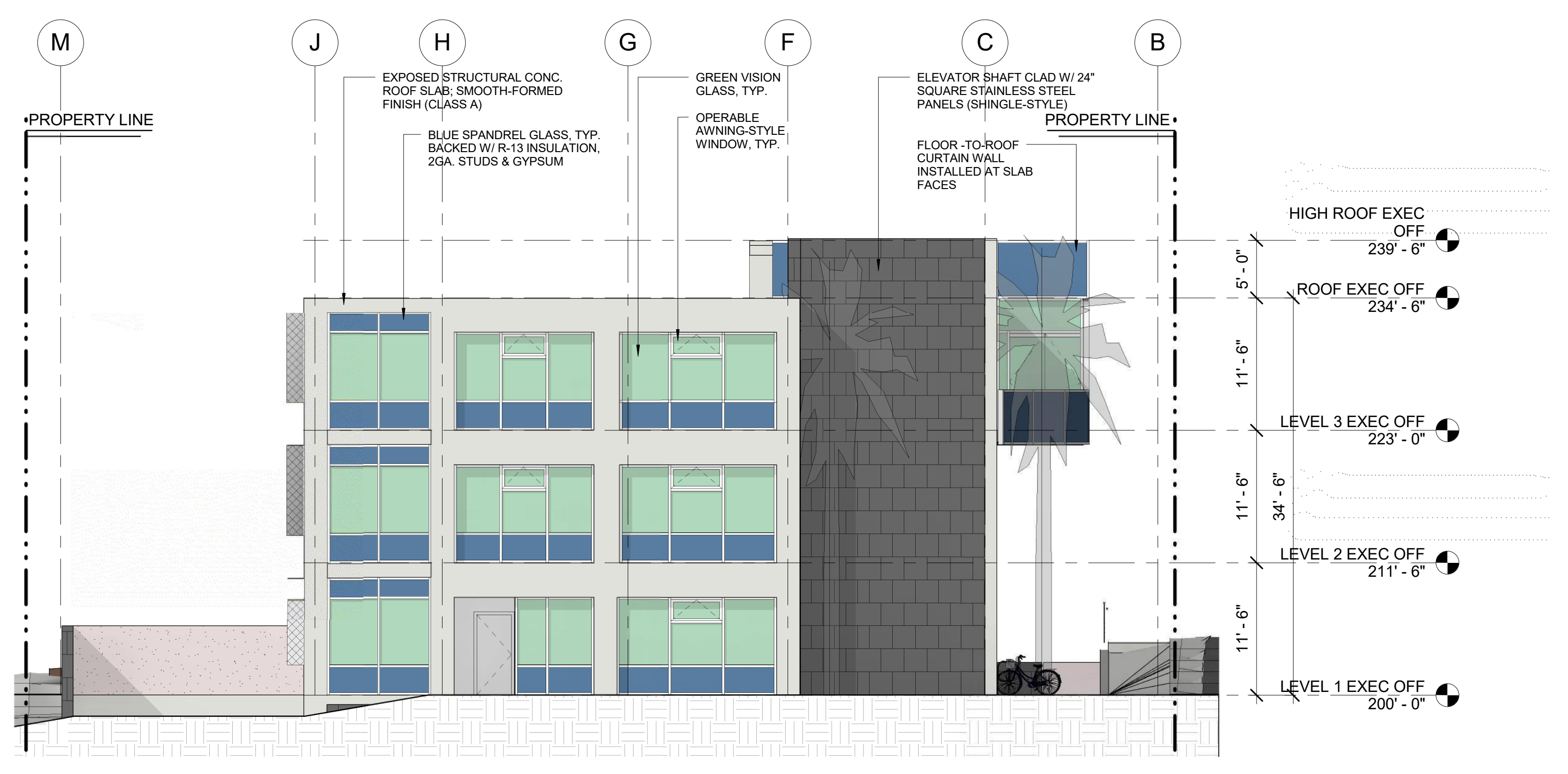




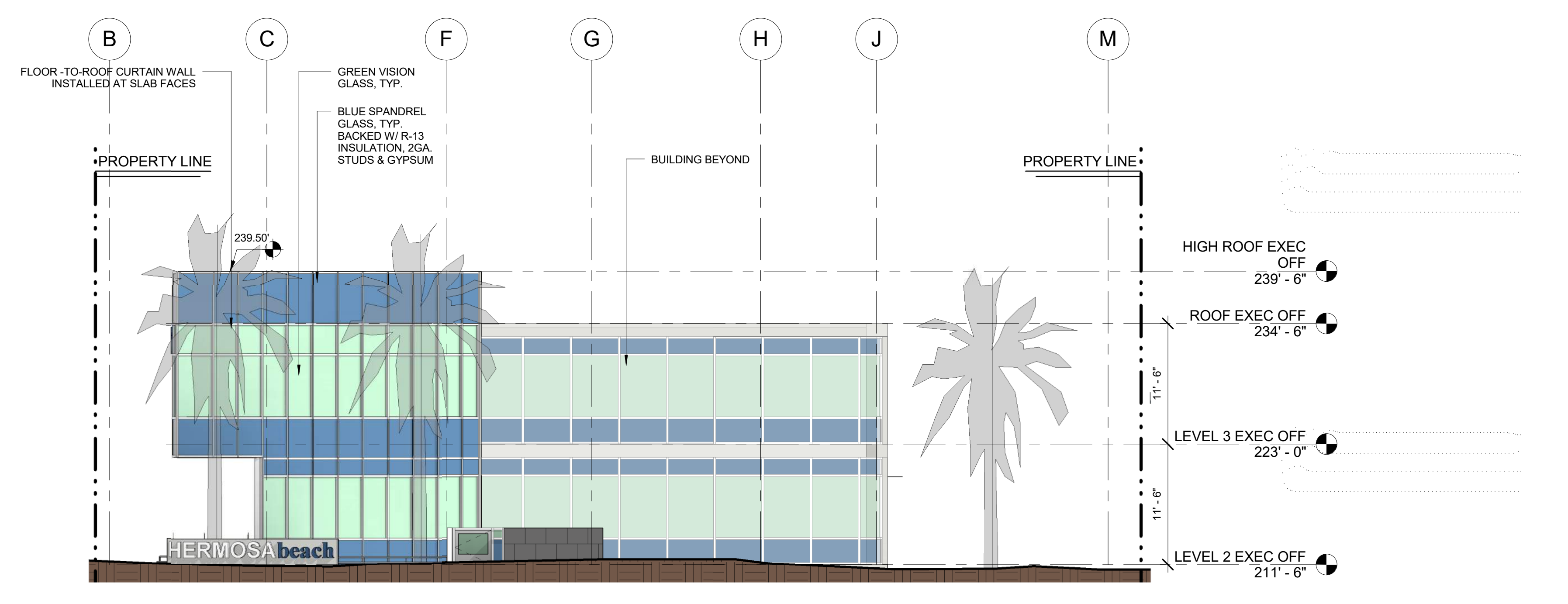
South - Design Center SCALE: 1/8" = 1'-0" 4



North - Design Center SCALE: 1/8" = 1'-0" 3



South - Executive Offices SCALE: 1/8" = 1'-0" 2



North - Executive Offices SCALE: 1/8" = 1'-0" 1