



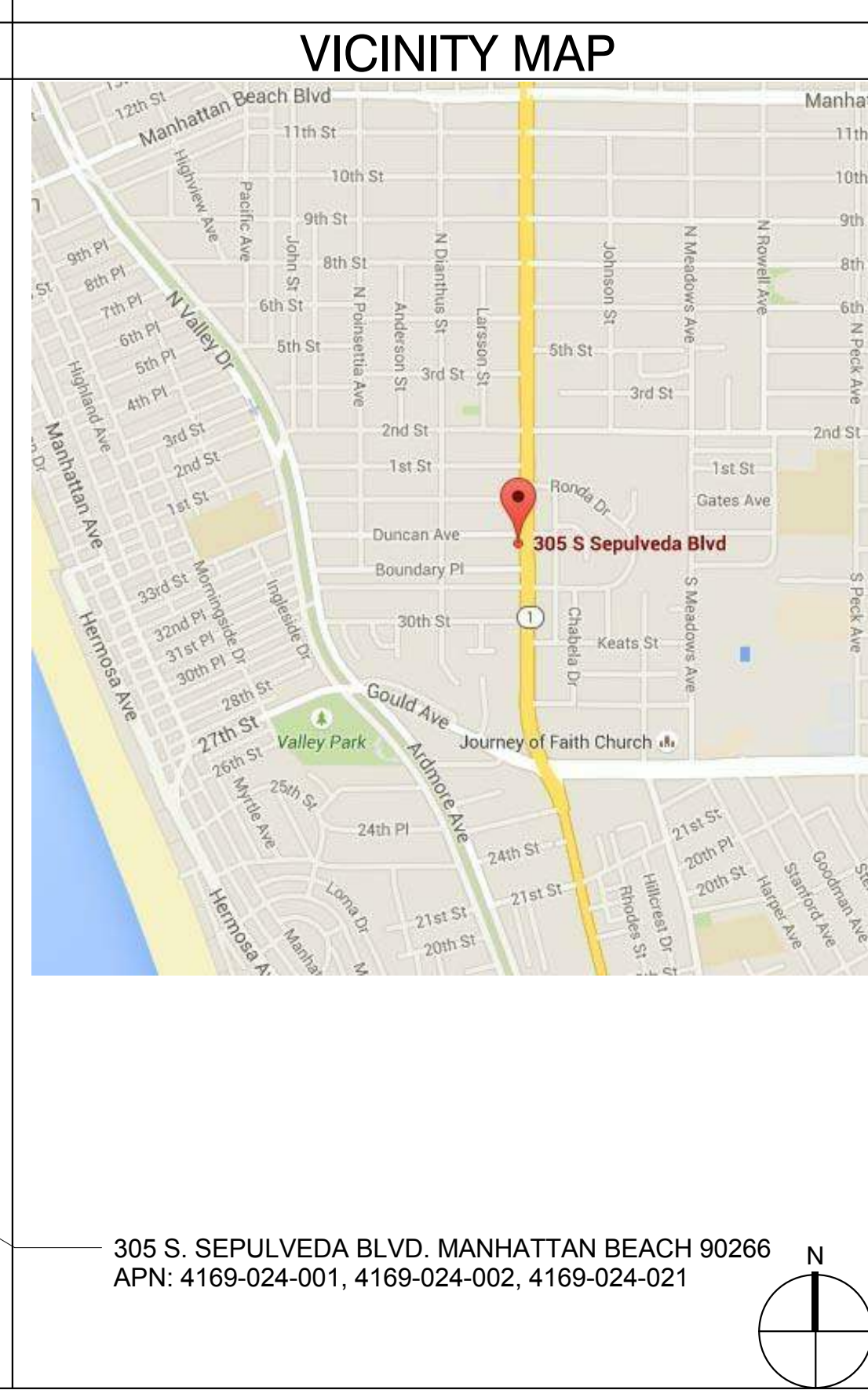
ABBREVIATIONS	
A/C	AIR CONDITIONING
A.C.	ASPHALTIC CONCRETE PAVING
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BD.	BOARD
B.L.D.G.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
C.L.	CENTER LINE
CL.G.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
COMM.	COMMERCIAL
CONC.	CONCRETE
CONC. BLK.	CONCRETE BLOCK
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.S.	DOWN SPOUT
D.TL.	DETAIL
DWG.	DRAWING
EA.	EACH
E.G.	EXISTING GRADE
ELEC.	ELECTRIC
ELEV.	ELEVATION
EQ.	EQUAL
EXIST.	EXISTING
EXT.	EXTERIOR
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FT.	FEET
FTG.	FOOTING
G.	GAS
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLASS
GYP.	GYPSON
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HD.	HEAD
HR.	HARD ROCK
H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING
H.W.	HOT WATER
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M/C	MEDICINE CABINET
MECH.	MECHANICAL
MFG.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
N.G.	NATURAL GRADE
N.I.C.	NOT IN CONTRACT
N.O.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
P.A.	PLANTING AREA
P.C.	PRE-CAST CONCRETE
P.P.	POWER POLE
PL.	PLATE
P.L.	PROPERTY LINE
P.L.W.D.	PLYWOOD
PLMB.	PLUMBING
PR.	PAIR
PT.	PAINT
R.	RISER
R.A.	RETURN AIR
R.H.	RADIUS
R.D.	ROOF DRAIN
RECP.	RECEPTACLE
REF.	REFRIGERATOR
REINF.	REINFORCED
RECD.	REQUIRED
REV.	REVISION
RF.	ROOF
RM.	ROOM
R.O.	ROUGH OPENING
S.A.	SUPPLY AIR
S.C.	SOLID CORE
S.D.	STORM DRAIN
S.F.	SQUARE FEET
SHT.	SHEET
SHTG.	SHEATHING
SHT. MTL.	SHEET METAL
SIM.	SIMILAR
S/S	STAINLESS STEEL
STL.	STEEL
STR.	STRUCTURAL
SUBFLR.	SUB-FLOOR
SUSP.	SUSPENDED
T.	TREAD
T & G	TONGUE AND GROOVE
THK.	THICK
T.O.	TOP OF
TYP.	TYPICAL
U.G.	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE
U.O.N.	UNLESS OTHERWISE NOTED
UNF.	UNFINISHED
W.	WATER
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
W.I.	WROUGHT IRON
W/O	WITHOUT
W.O.	WHERE OCCURS
W.P.	WATER PROOF
W.R.	WEATHER RESISTANT
W.W.M.	WELDED WIRE MESH

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
(E)	EXISTING CONDITION
(D)	CONDITION TO BE DEMOLISHED
(N)	NEW CONDITION
	ELEVATION LOCATION
268	EXISTING CONTOUR LINE
320	NEW CONTOUR LINE
	MATCH LINE, SHADED PORTION SIDE SHOWN
	LEVEL LINE, CONTROL POINT OR DATUM
	PROPERTY LINE, BOUNDARY LINES
	CENTER LINE, EXTERIOR ELEVATION LINES
	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
	OUTLINE OF HIDDEN OBJECTS BELOW
	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION REFERENCE DRAWING NUMBER
1	DETAIL NUMBER
A-1	REFERENCE DRAWING NUMBER
	WALL SECTION REFERENCE DRAWING NUMBER
A-1.11	ELEVATION NUMBER REFERENCE DRAWING NUMBER
101	DOOR NUMBER
A	WALL REFERENCE
11	WINDOW NUMBER
A	MATERIAL REFERENCE
A	COLOR REFERENCE
12	EQUIPMENT NUMBER
1	REVISION
N	PROJECT NORTH (MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
1	REFERENCE GRIDS

PROJECT DIRECTORY		
APPLICANT: SEPULVEDA BOULEVARD PROPERTIES, LLC (SKECHERS USA) 228 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA 90266 CONTACT: TIM BALL TEL: (310) 318-3100 x 1488	CIVIL ENGINEER: KREUZER CONSULTING 320 MAIN ST., SEAL BEACH, CA 90740 TEL: (714) 856-0160	MECHANICAL/PLUMBING/ELECTRICAL ENGINEER: GLUMAC 707 Wilshire Blvd., 23rd Floor, Los Angeles, CA 90017 T. 213.239.8866 F. 213.239.8816
ARCHITECT: DFH ARCHITECTS 1544 TWENTIETH STREET SANTA MONICA, CA 90404 (310) 394-4045	LANDSCAPE ARCHITECT: BENNETT DESIGN GROUP 4609 E ANAHEIM ST # B, LONG BEACH, CA 90804 TEL: (562) 597-2221	STRUCTURAL ENGINEER: ENGLERKIRK STRUCTURAL ENGINEERS 888 S. FIGUEROA STREET 18TH FLOOR, LOS ANGELES, CA 90017 TEL: (323) 773-6673 FAX: (323) 773-8682

SHEET INDEX	
ARCHITECTURAL	LANDSCAPING
T-1.01	TITLE SHEET
T-1.02	ZONING AND BUILDING CODE BUILDING AREA CALCULATIONS
T-1.03	LANDSCAPE CALCULATIONS
A-1.01	SURVEY
A-1.02	SITE PLAN
A-2.01	GARAGE LEVEL C PLAN
A-2.02	GARAGE LEVEL B PLAN
A-4.01	BUILDING ELEVATIONS
A-2.03	GARAGE LEVEL A PLAN
A-2.04	FIRST/ GROUND FLOOR PLAN
A-2.05	SECOND FLOOR PLAN
A-3.01	BUILDING SECTIONS

PROJECT SUMMARY			
PROJECT ADDRESS:	305 S. SEPULVEDA BLVD. MANHATTAN BEACH CA 90266		
PROJECT DESCRIPTION:	NEW TYPE II-A TWO STORY OFFICE BUILDING ABOVE THREE LEVELS OF TYPE I-A SUBTERRANEAN PARKING GARAGE		
LEGAL DESCRIPTION:	<p>APN: 4169-024-001 THE NORTH 73 FEET OF 1 IN BLOCK 3 OF THE CARNATION VILLA TRACT, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 7, PAGE 42 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY</p> <p>APN: 4169-024-002 LOT 1 IN BLOCK 3 OF THE CARNATION VILLA TRACT, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 7, PAGE 42 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY</p> <p>APN: 4169-024-021 LOT 1 OF TRACT NO 42598, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 1064, PAGE 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY</p>		
LOT AREA:	28,492 SQFT	LOT COVERAGE:	20,594 SQFT
MAX F.A.F. = 1.5	TOTAL BUILDING AREA: 37,174 SQFT		
PROPOSED F.A.F. = 37,174/ 28,492=1.30	(PLEASE SEE T-1.02 FOR CALCULATIONS)		
ZONING:	CG - GENERAL COMMERCIAL		
BUILDING HEIGHT:	2 STORY / 30FT (30FT ABOVE "AVERAGE NATURAL GRADE") AVERAGE NATURAL GRADE- AVERAGE ELEVATION OF EXISTING GRADE AT ALL 4 CORNERS OF THE LOT		
	<p>212.70' @ NORTHWEST PROPERTY LINE 220.54' @ SOUTHWEST PROPERTY LINE 224.40' @ NORTHEAST PROPERTY LINE 219.69' @ SOUTHEAST PROPERTY LINE 877.33' % 4 = 219.3' A.N.G. 219'-3" + 30" = 249'-3" MAX HEIGHT PROPOSE HEIGHT = 247'-0" PROPOSED BUILDING HEIGHT= 27'-9" MEASURED FROM A.N.G.</p>		
OCCUPANCY TYPE:	B/ S2		
OCCUPANCY LOAD:	OFFICE 100, GARAGE 200		
CONSTRUCTION TYPE:	TYPE II-A (1ST & 2ND FLOORS) TYPE I-A (PARKING LEVEL A, B AND C)		
FIRE PROTECTION:	AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLATION SHALL CONFORM TO 2013 CBC STANDARDS; CHAPTER 9 & THE CALIFORNIA FIRE CODE WHERE APPLICABLE		
YARD REQUIREMENTS:	FRONT YARD SETBACK: 10 FT REQUIRED AND PROVIDED REAR YARD SETBACK: DAYLIGHT PLANE AT REAR YARD PROPERTY LINE. PLEASE SEE A-3.01 GRAPHIC REPRESENTATION OF HOW THE PROJECT COMPLIES WITH THE REQUIREMENT. SIDE YARD SETBACK: NONE REQUIRED		
LANDSCAPE REQUIREMENTS:	TOTAL SITE AREA: 28,492 SQFT TOTAL LANDSCAPED AREA: 4,912 SQFT MIN LANDSCAPE REQUIRED 8%		
	4.912/ 28,492 17 % OF SITE AREA IS LANDSCAPED SEE SHEET T-1.03 FOR THE LANDSCAPE CALCULATIONS		



CODES , REGULATIONS , PERMITS AND STANDARDS	
1.	THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: PART 1: 2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24 CALIFORNIA CODE OF REGULATIONS (C.C.R.) PART 2: 2013 CALIFORNIA BUILDING CODE (CBC), TITLE 24 C.C.R. (2009 INTERNATIONAL BUILDING CODE, VOLUMES 1-2 OF THE INTERNATIONAL CODE COUNCIL WITH CALIFORNIA AMENDMENTS) PART 2.5: 2011 CITY OF LOS ANGELES RESIDENTIAL CODE (CRC), TITLE 24 C.C.R. (2010 CALIFORNIA RESIDENTIAL CODE AND 2009 INTERNATIONAL RESIDENTIAL CODE) PART 3: 2013 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 C.C.R. (2008 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA) PART 4: 2013 CALIFORNIA MECHANICAL CODE (CMC), TITLE 24 C.C.R. (2009 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO) PART 5: 2013 CALIFORNIA PLUMBING CODE (CPC), TITLE 24 C.C.R. (2009 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO) PART 6: 2013 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R. PART 7: 2013 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, TITLE 24 C.C.R. PART 9: 2013 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2009 INTERNATIONAL FIRE CODE) PART 11: 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24 C.C.R. (CALGREEN) PART 12: 2013 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24 C.C.R. NFPA 13: 2010 STANDARDS FOR THE INSTALLATION OF SPRINKLER SYSTEMS NFPA 24: 2010 STANDARDS FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPEARANCES NFPA 72: 2010 NATIONAL FIRE ALARM AND SIGNALING CODE FAIR HOUSING ACT DESIGN MANUAL 1998 (FHADM) WITH ANSI A117.1-2003, "FAIR HOUSING ACT SAFE HARBOR"
2.	ALL WORK SHALL COMPLY WITH THE FOLLOWING CITY OF LOS ANGELES REGULATIONS, CODES AND AUTHORITIES: A. BUILDING & SAFETY DEPT. B. PLANNING & ZONING DEPT. C. FIRE DEPT. D. PUBLIC WORKS DEPT. E. ENGINEERING DEPT. F. RECREATION & PARKS DEPT.

PARKING		
PARKING REQUIRED:	OFFICE AREA: 1 PARKING PER 300 SF	
	1ST FLOOR 19,772 SF 2ND FLOOR 17,402 SF TOTAL: 37,174 SF 37,174/ 300= 124 PARKING REQUIRED 30% MAX COMPACT SPACE IS ALLOWED	
PARKING PROVIDED		
LEVEL	TYPE	PROVIDED
LEVEL A	ACCESSIBLE	6
	STANDARD	36
	COMPACT	21
	LEVEL TOTAL	63
LEVEL B	STANDARD	47
	COMPACT	21
	LEVEL TOTAL	68
LEVEL C	STANDARD	47
	COMPACT	21
	LEVEL TOTAL	68
TOTAL PARKING PROVIDED VS REQUIRED:	PROVIDED	REQUIRED
	ACCESSIBLE 6	6
	STANDARD 130	81
	COMPACT 63	37
	199 TOTAL	124 TOTAL

DEFERRED SUBMITTALS	
SEPARATE APPS, PLAN CHECK AND PERMITS WILL BE SUBMITTED FOR:	
-	FIRE PROTECTION SPRINKLER SYSTEM
-	FIRE ALARM DESIGN SYSTEM



PLUMBING FIXTURE- AREA CALCULATION

TYPE OF BUILDING OR OCCUPANCY	WATER CLOSETS (FIXTURES PER PERSON)	URINALS (FIXTURES PER PERSON)	LAVATORIES (FIXTURES PER PERSON)	LEVEL	AREAS	OCCUPANCY LOAD	MINIMUM FIXTURES REQUIRED PER CBC TABLE 2902.1		
							WATER CLOSET	URINALS	LAVATORIES
BUSINESS OFFICE BUILDING - EMPLOYEE USE	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	IBC 419.2 Substitution for water closets. . . Urinals shall not be substituted for more than 50 percent of the required water closets in all other occupancies.	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	1st / Ground Floor	18663.63 SF	187	5		4
				2nd Floor	16275.31 SF	163	4		4
							FIXTURES PROVIDED		
				1ST FLOOR			6	2	4
			2ND FLOOR				6	2	4

ZONING CODE FLOOR AREA

CITY OF MANHATTAN BEACH ZONING CODE, FLOOR AREA		LEVEL	AREAS
* Floor Area, Buildable: The total enclosed area of all stories of a building, measured to the outside face of the structural members in exterior walls, and thirty percent (30%) of the area of all basements of a building that are not entirely below local grade, and including halls and the area of the stairs, but excluding floor area under stairs and those portions of a basement that are entirely below grade. The following elements also are excluded from a determination of buildable floor area: Commercial and Industrial Districts: That area used exclusively for vehicle parking and loading and in service and mechanical rooms, enclosed vertical shafts, or elevators.*		1st / Ground Floor	19,771.83 SF
		2nd Floor	17,402.23 SF
		TOTAL	37,174.06 SF
FLOOR AREA RATIO: SITE AREA			28,494 SF
FLOOR AREA PROVIDED FAR PROPOSED (FLOOR AREA/SITE AREA)			37,174 SF 1.30

CBC ALLOWABLE BUILDING AREA CALCULATIONS

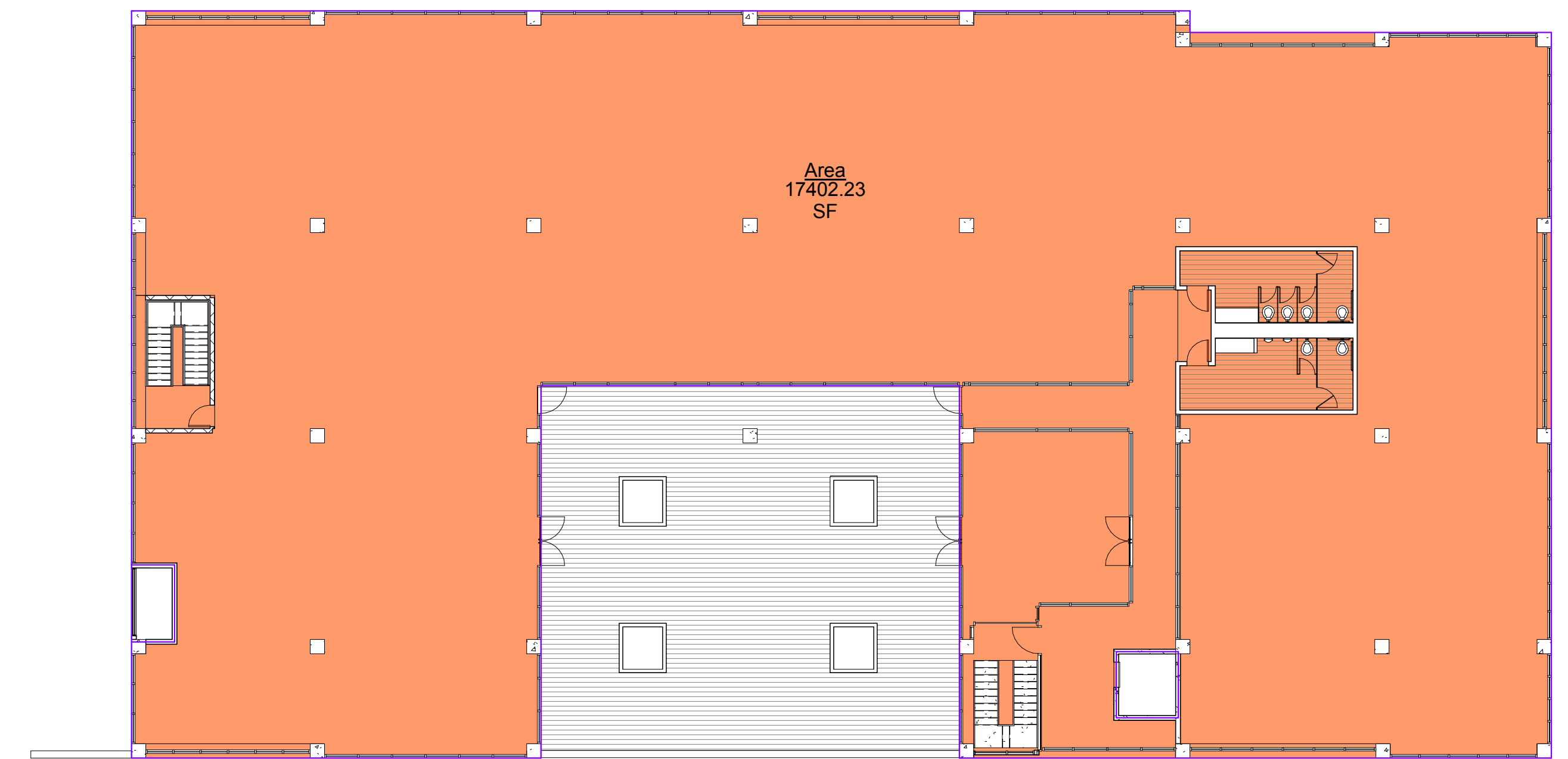
THE BUILDING HEIGHT AND AREA SHALL NOT EXCEED THE LIMITS SPECIFIED IN TABLE 503 BASED ON THE TYPE OF CONSTRUCTION AS DETERMINED BY SECTION 602 AND THE OCCUPANCIES AS DETERMINED BY SECTION 302 EXCEPT AS MODIFIED HEREAFTER. **CBC SECTION 503.1**

TYPE II-A CONSTRUCTION

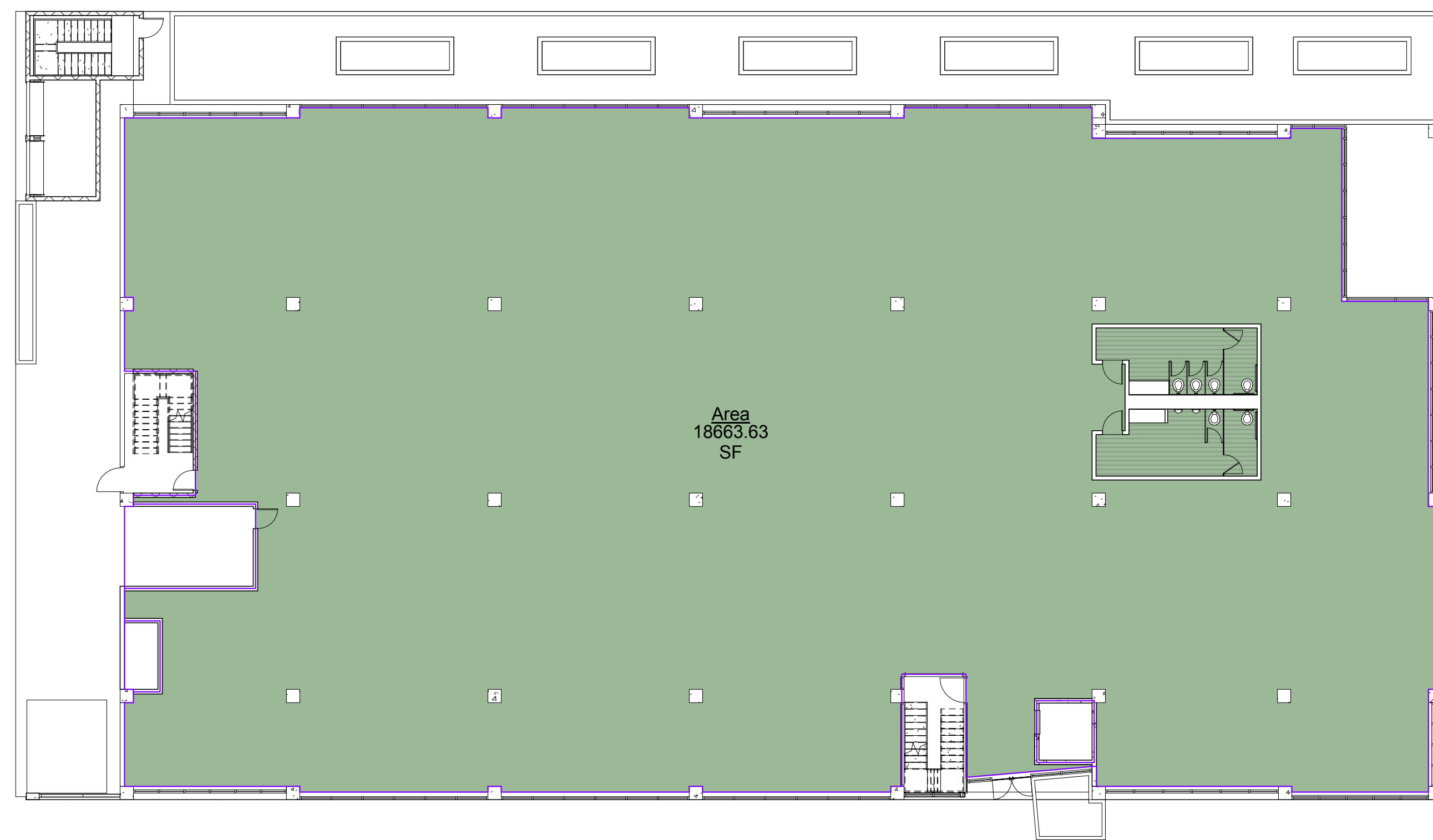
B GENERAL OFFICE OCCUPANCY	ALLOWED	PROVIDED
LEVEL 1 OFFICES	37,500SF	19,772.SF
LEVEL 2 OFFICES	37,500SF	17,402SF



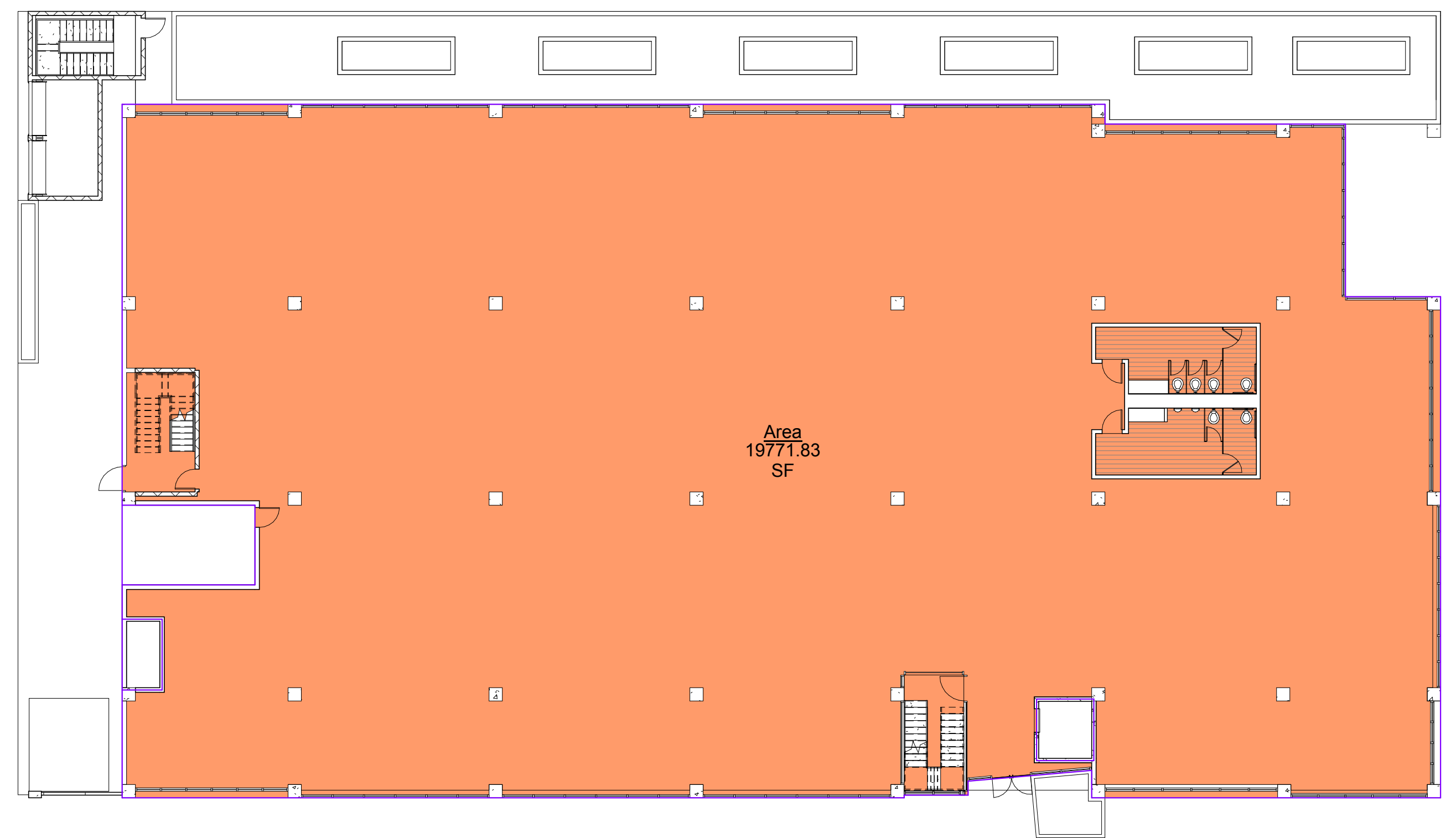
2nd Floor SCALE: 1/16" = 1'-0" 4



2nd Floor SCALE: 1/16" = 1'-0" 2

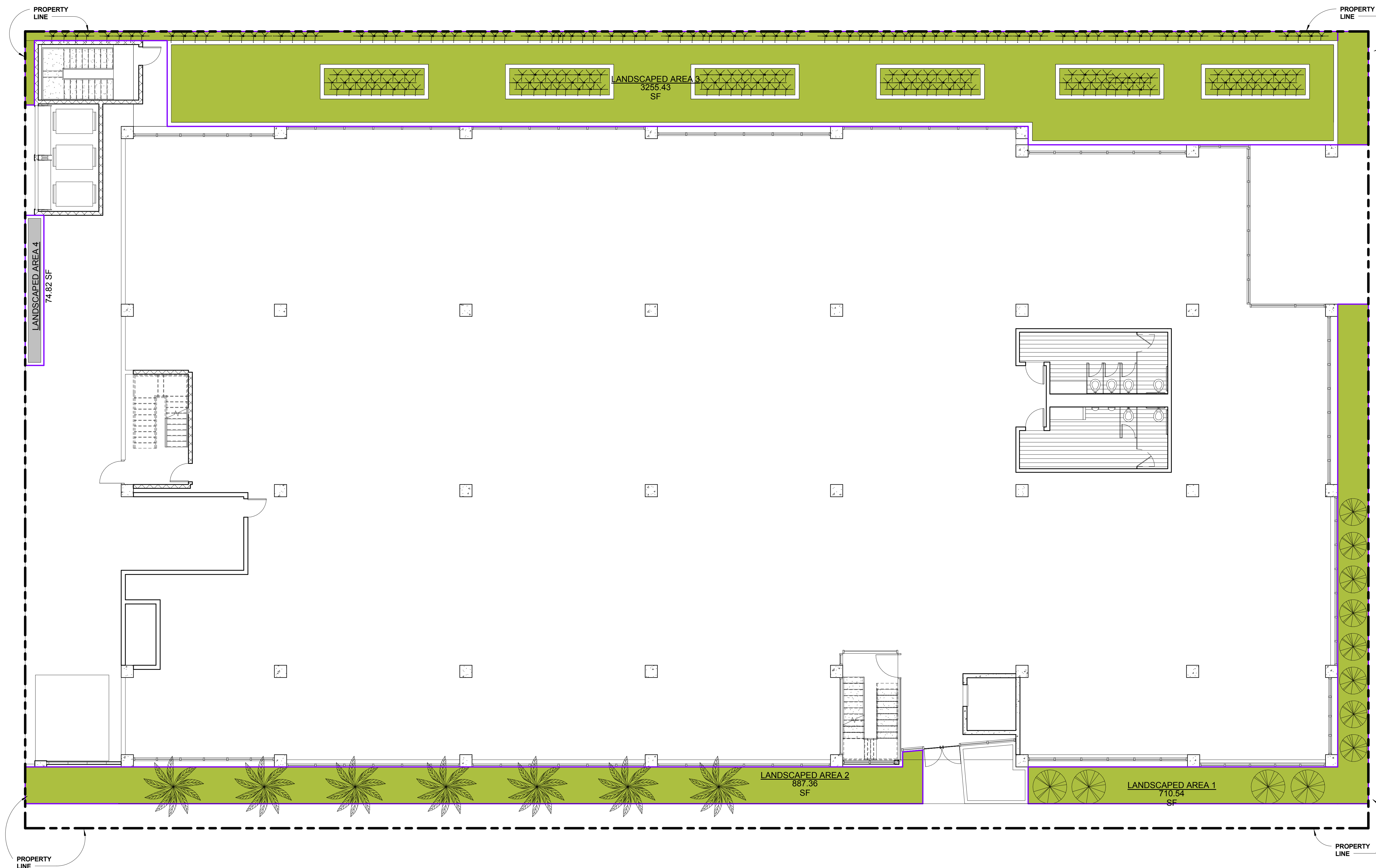


1st / Ground Floor SCALE: 1/16" = 1'-0" 3



1st / Ground Floor SCALE: 1/16" = 1'-0" 1



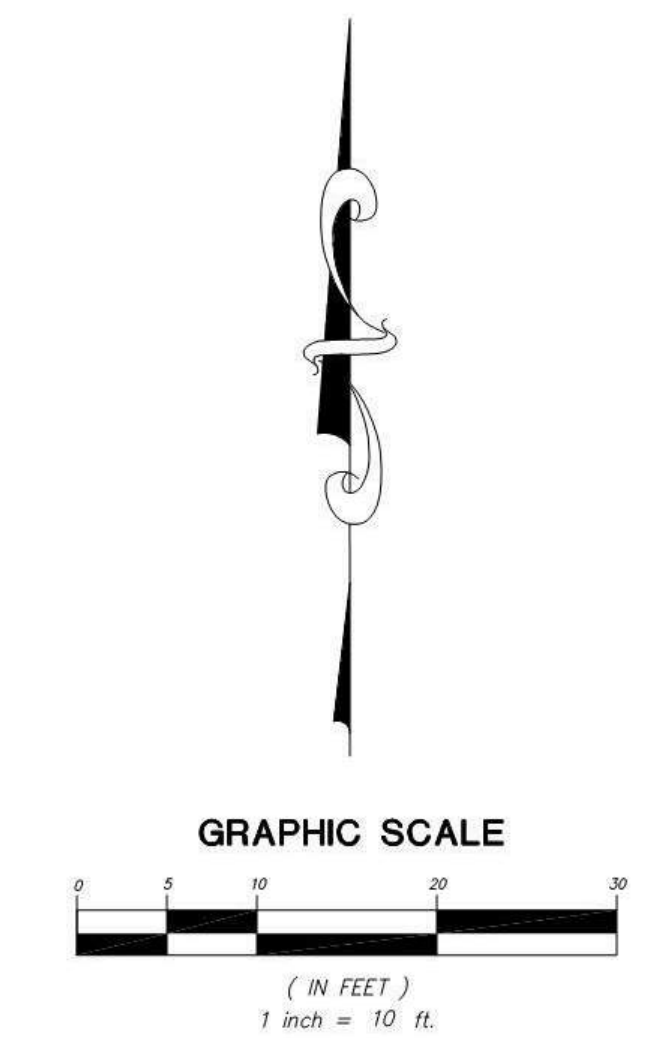
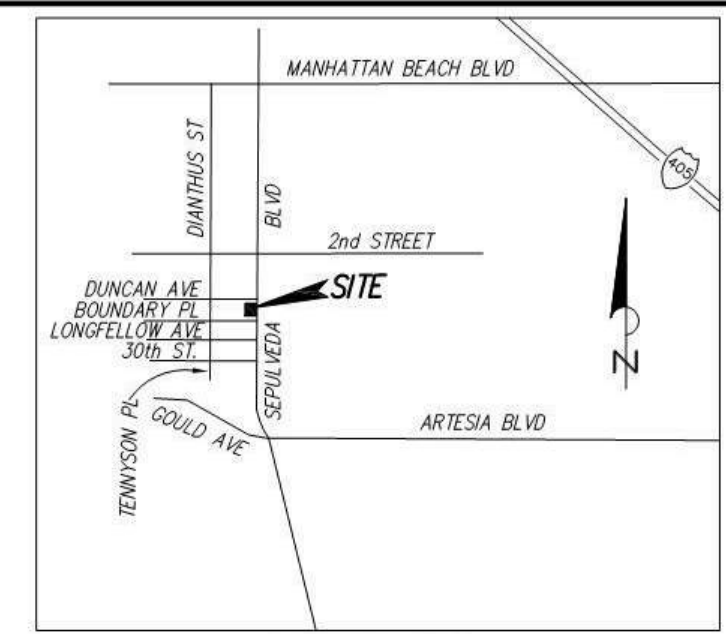
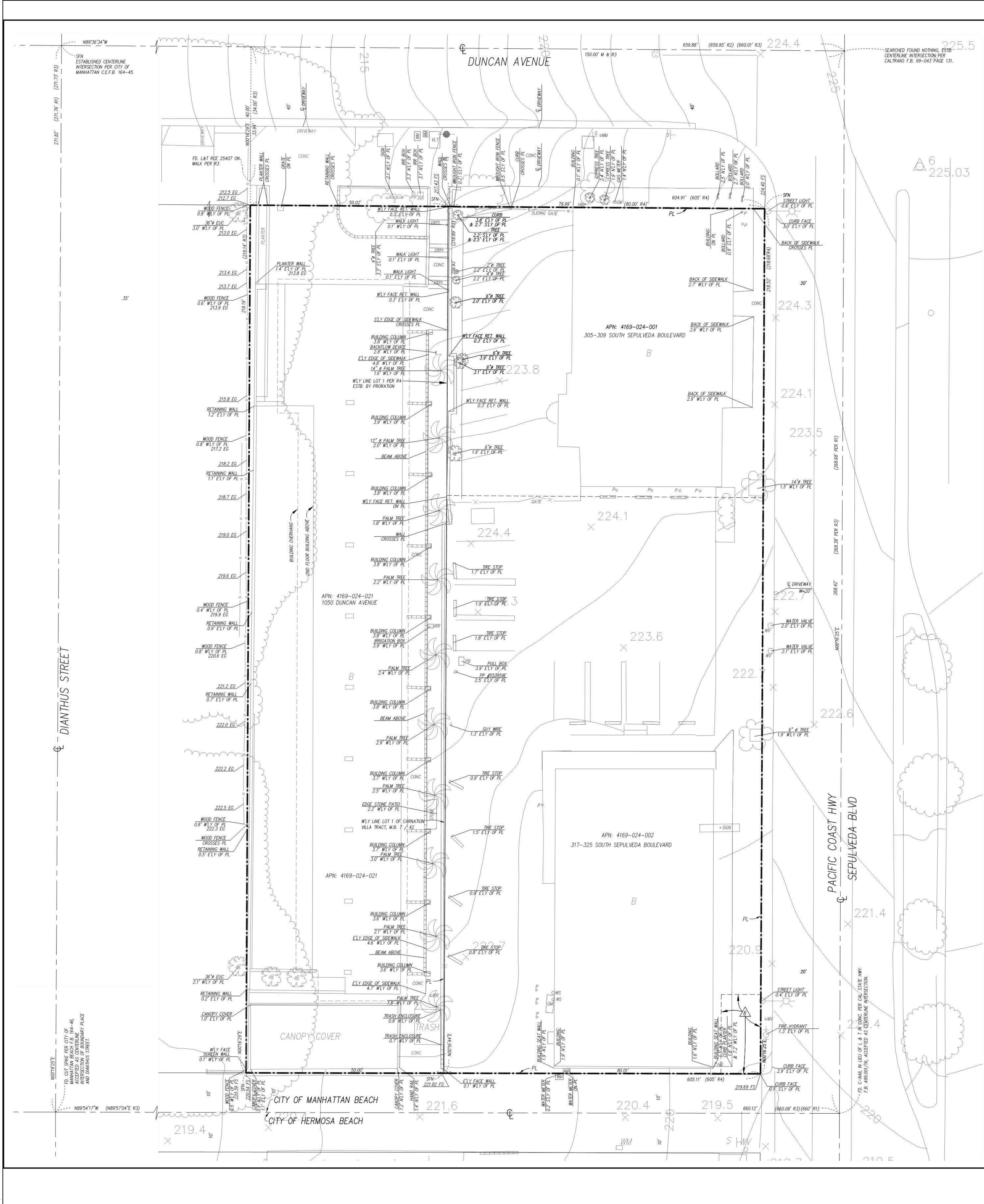


LANDSCAPED AREA	
SQUARE FOOTAGE	AREA
710.54 SF	LANDSCAPED AREA 1
887.36 SF	LANDSCAPED AREA 2
3255.43 SF	LANDSCAPED AREA 3
74.82 SF	LANDSCAPED AREA 4
4928.15 SF	TOTAL LANDSCAPED AREA

TOTAL SITE AREA: 28,492 SQFT
 TOTAL LANDSCAPED AREA: 4,912 SQFT
 MIN LANDSCAPE REQUIRED 8%

4,912/ 28,492 17% OF SITE AREA IS LANDSCAPED
 17% > 8% REQUIREMENT MET





ABBREVIATIONS:
 B EXISTING BUILDING OR STRUCTURE
 CONC CONCRETE
 ELY EASTERLY
 NLY NORTHERLY
 PL PROPERTY LINE
 PB PULL BOX
 SLY SOUTHERLY
 S SIGN
 VLT VAULT
 WM WATER METER
 WLY WESTERLY
 WV WATER VALVE

RECORD REFERENCE:
 R1 - CARNATION VILLA TRACT, M.B. 7 / 42.
 R2 - R.S.B. 141/76
 R3 - TRACT NO. 42598 M.B. 1064 / 26-27.
 SN - SEARCHED FOUND NOTHING, SET NOTHING.

BASIS OF BEARINGS:
 BEARINGS ARE BASED ON THE CENTERLINE OF BOUNDARY PLACE BEING
 N 89° 57' 04" E PER TRACT NO. 42598 RECORDED IN BOOK 1094, PAGES 26 AND 27.
 OF MAPS, RECORDS OF LOS ANGELES COUNTY, CALIFORNIA AND ROTATED 0° 08' 39"
 CLOCKWISE FOR THE PURPOSE OF THIS MAP.

BASIS OF DATUM (BENCH MARK):
 CITY OF MANHATTAN BEACH BENCH MARK ID-BM9307
 BRASS DISK @ 4" W OF B.O.S. SW COR. DUNCAN & SEPULVEDA
 ELEVATION: 223.263, NGVD 1988.

PREPARED BY OR UNDER THE DIRECTION OF:
 THEODORE M. KRULL, L.S. 5848 DATE

PREPARED FOR:
 SKECHERS DESIGN CENTER, LLC

NO.	DATE	DESCRIPTION	BY

Prepared by:
 STARLIGHT SURVEYING, INC.
 17955 Sky Park Circle, Suite F
 Irvine, California, 92614
 (949) 757-0613 Fax (949) 757-0623
 Land Surveyors

SITE SURVEY
 1050 DUNCAN AVENUE
 305-309 & 317-325 SOUTH SEPULVEDA BOULEVARD
 IN THE CITY OF MANHATTAN BEACH
 COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
 JOB NO. 537.2796.002 & 003
 DATE: 10-02-2015

Date: 06/15/15
 Scale:
 By: SOB
 Project No: 1527
 Page No:
A-1.01
 OF

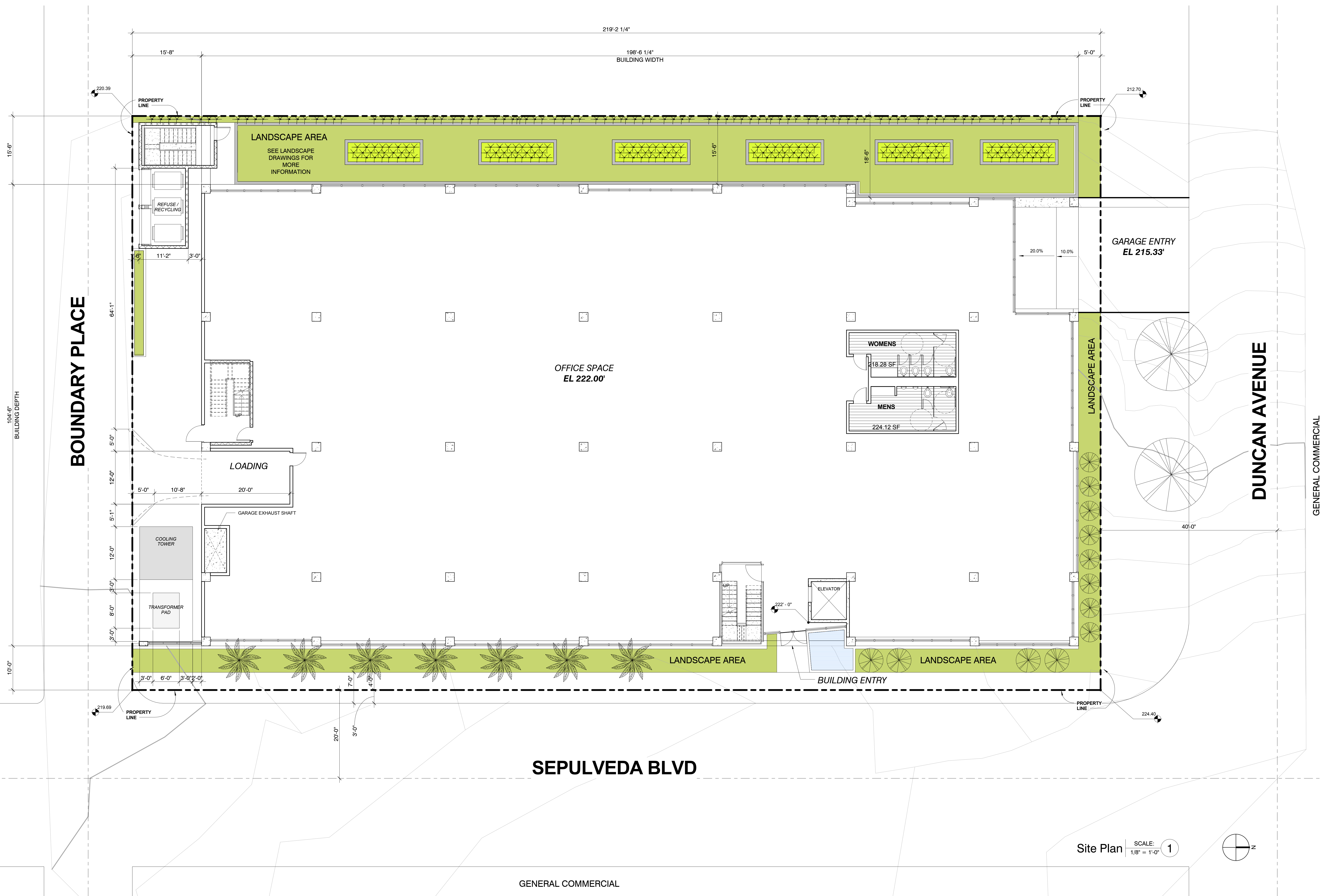


2/17/2016 9:26:05 AM

KEYNOTES

RESIDENTIAL SINGLE FAMILY

219'-2 1/4"
198'-6 1/4"
BUILDING WIDTH



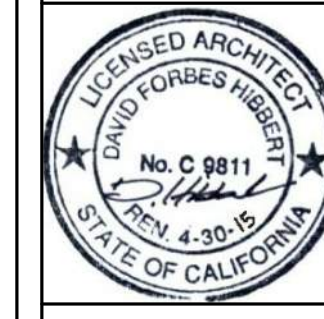
1544 20th Street S.M. CA
 1-310-394-4045
 info@dfh.com
 www.dfh.com



Skechers
 305 S. Sepulveda Blvd.
 Manhattan Beach, CA 90266

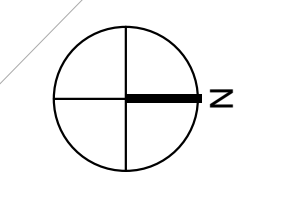
1ST PLAN CHECK SUBMITTAL
 MAY 18, 2015

SITE PLAN



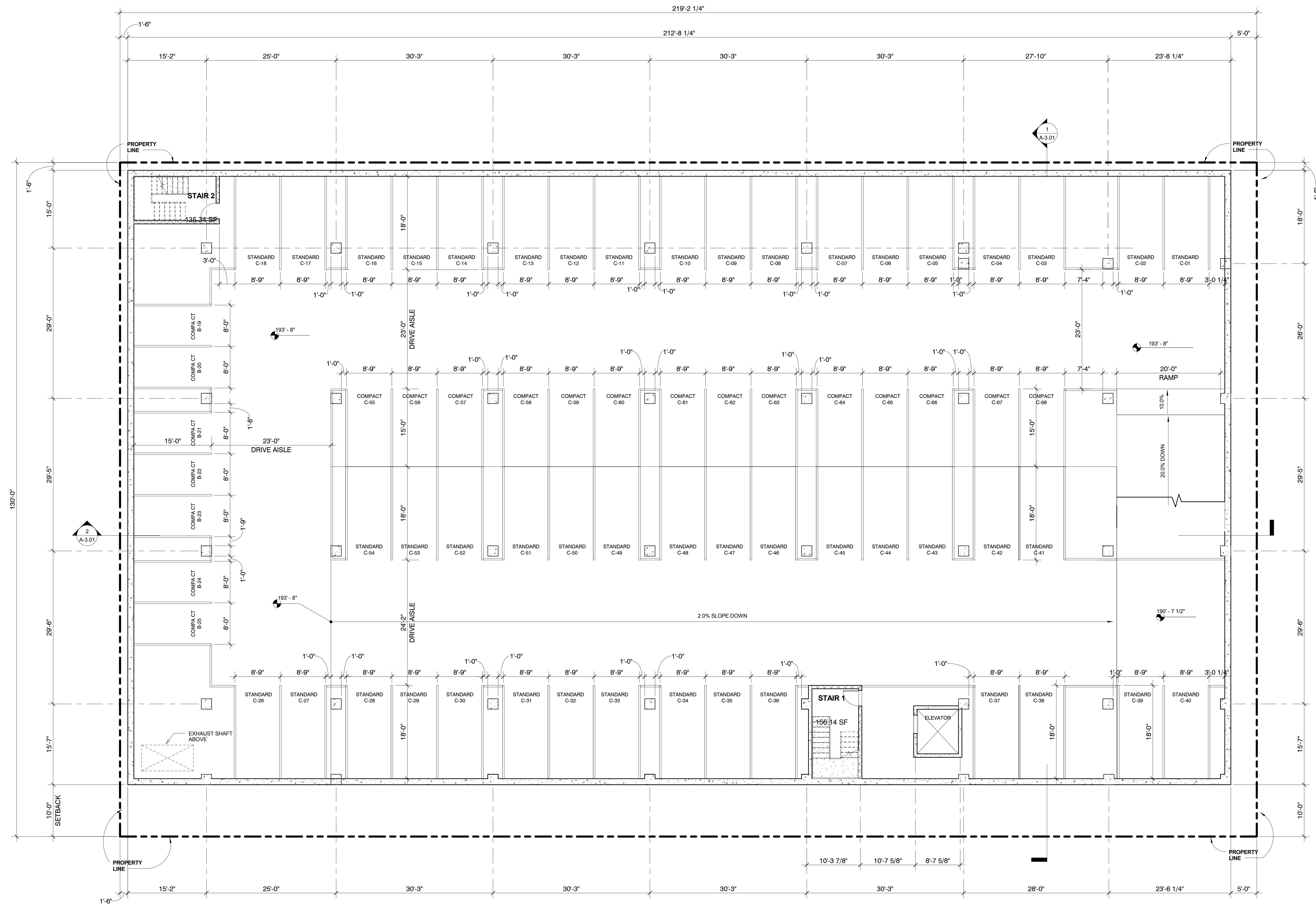
Date: 08/15/15
 Scale: 1/8" = 1'-0"
 By: DR
 Project No: 1527
 Page No: A-1.02
 OF

Site Plan SCALE: 1/8" = 1'-0" 1



2/17/2016 9:38:11 AM

KEYNOTES



Skechers
305 S. Sepulveda Blvd.
Manhattan Beach, CA 90266

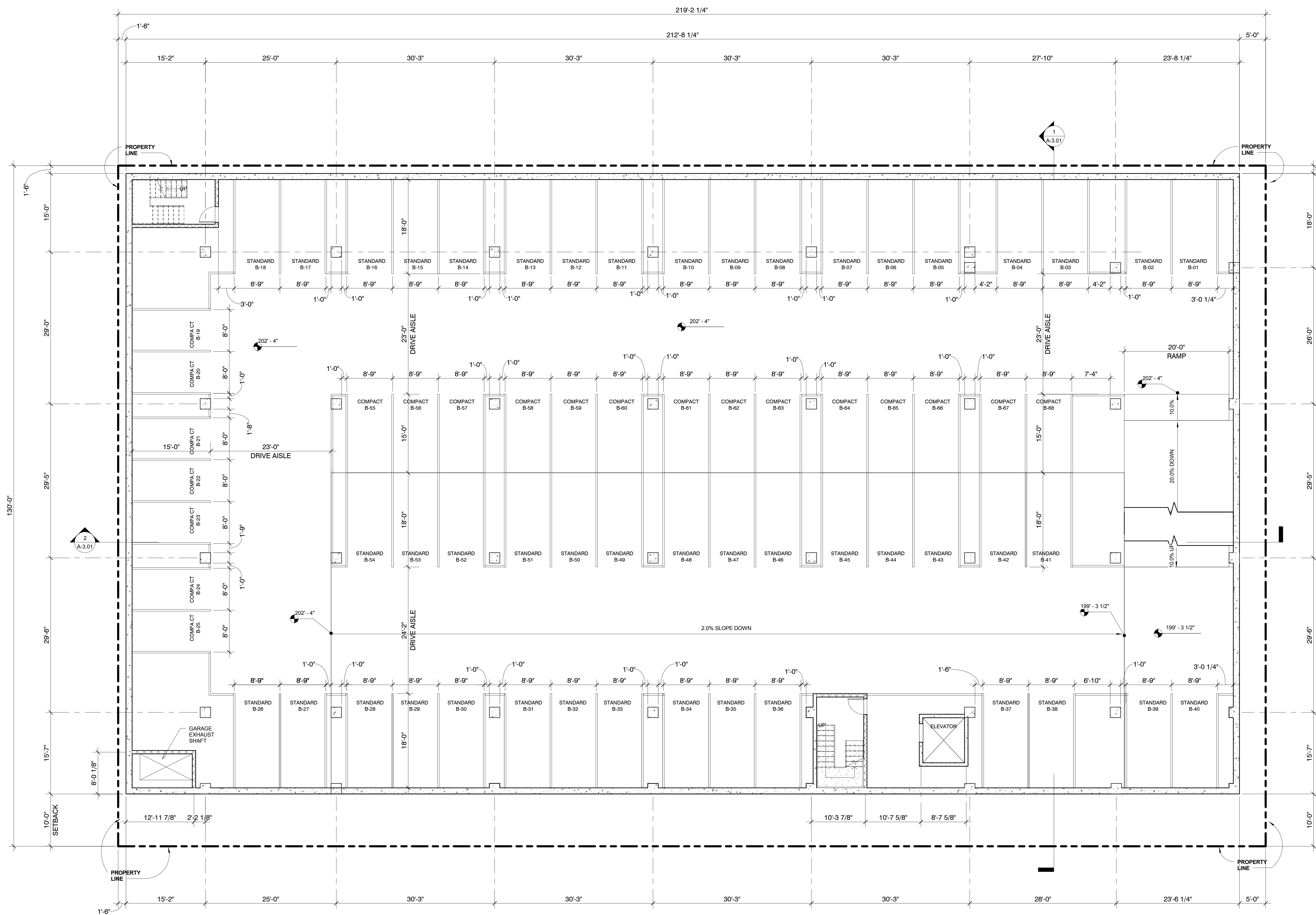
SCHEMATIC DESIGN SET
OCTOBER 07, 2015

GARAGE LEVEL C PLAN



Date: 06/22/15
Scale: 1/8" = 1'-0"
By: Author
Project No: 1527
Page No: A-2.01
OF

KEYNOTES



1544 20th Street 3rd Fl. CA
 415.333.4445
 info@dfh.com
 www.dfh.com



Skechers
 305 S. Sepulveda Blvd.
 Manhattan Beach, CA 90266

SCHEMATIC DESIGN SET
 OCTOBER 07, 2015

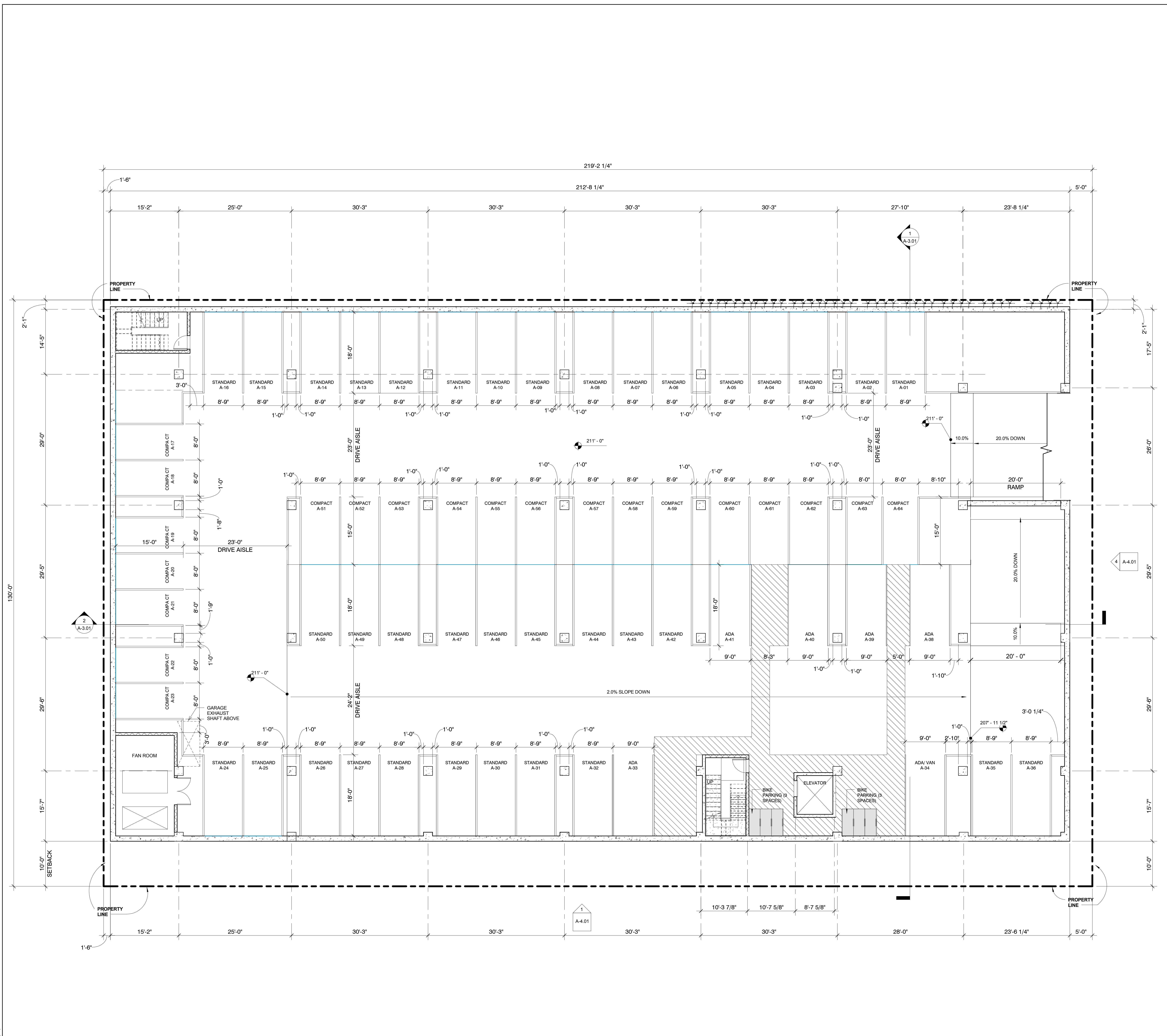
GARAGE LEVEL B PLAN



Date: 06/15/15
 Scale: 1/8" = 1'-0"
 By: Author
 Project No: 1527
 Page No: A-2.02
 OF

2/17/2016 9:26:43 AM

KEYNOTES



1544 20th Street S.M. CA
 1-818-394-4045
 info@dfh.com
 www.dfh.com



Skechers
 305 S. Sepulveda Blvd.
 Manhattan Beach, CA 90266

SCHEMATIC DESIGN SET
 OCTOBER 07, 2015

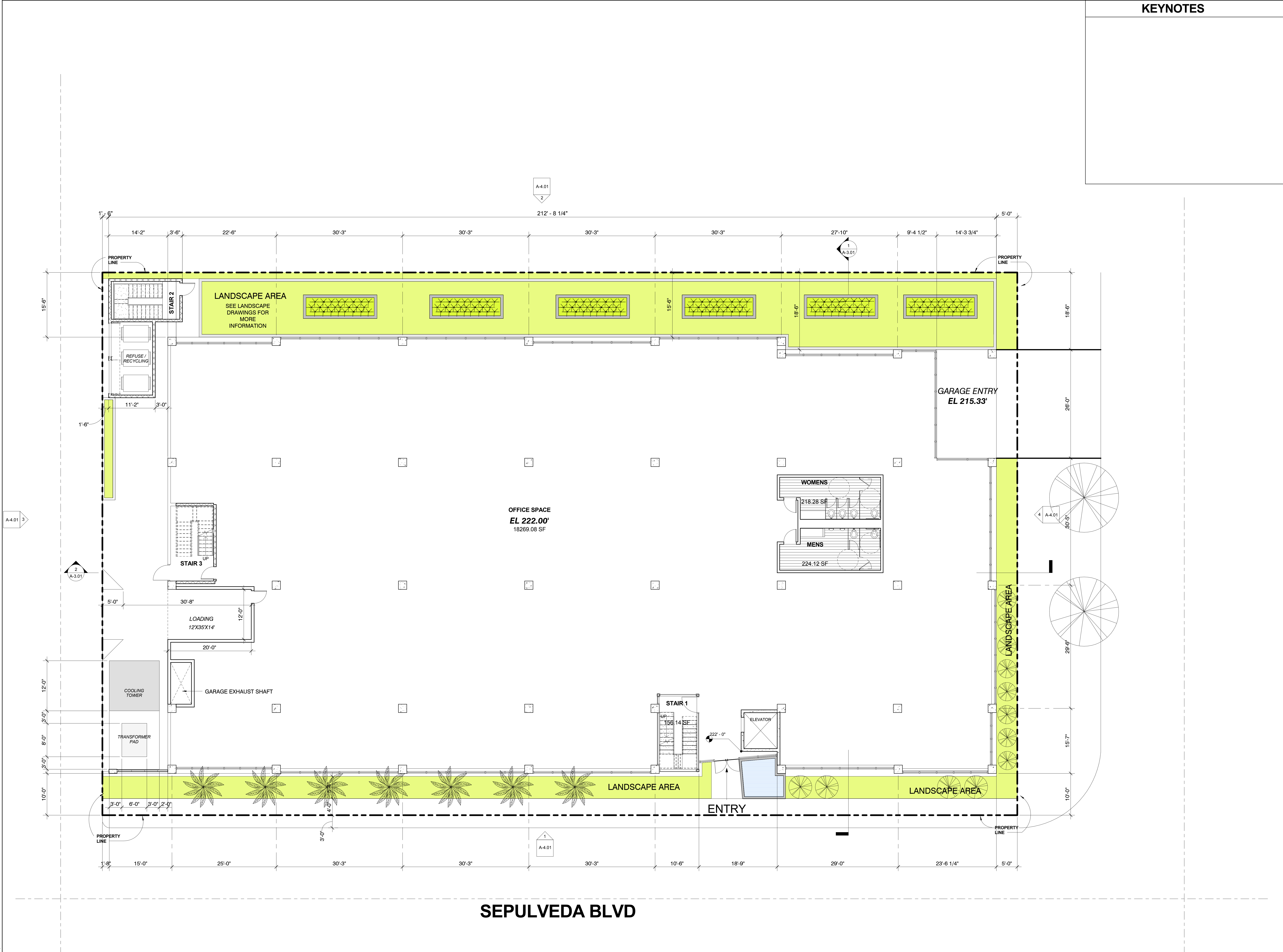
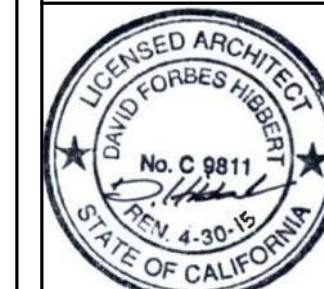
GARAGE LEVEL A PLAN



Date: 06/15/15
 Scale: 1/8" = 1'-0"
 By: Author
 Project No: 1527
 Page No:
A-2.03
 OF

2/17/2016 9:36:48 AM

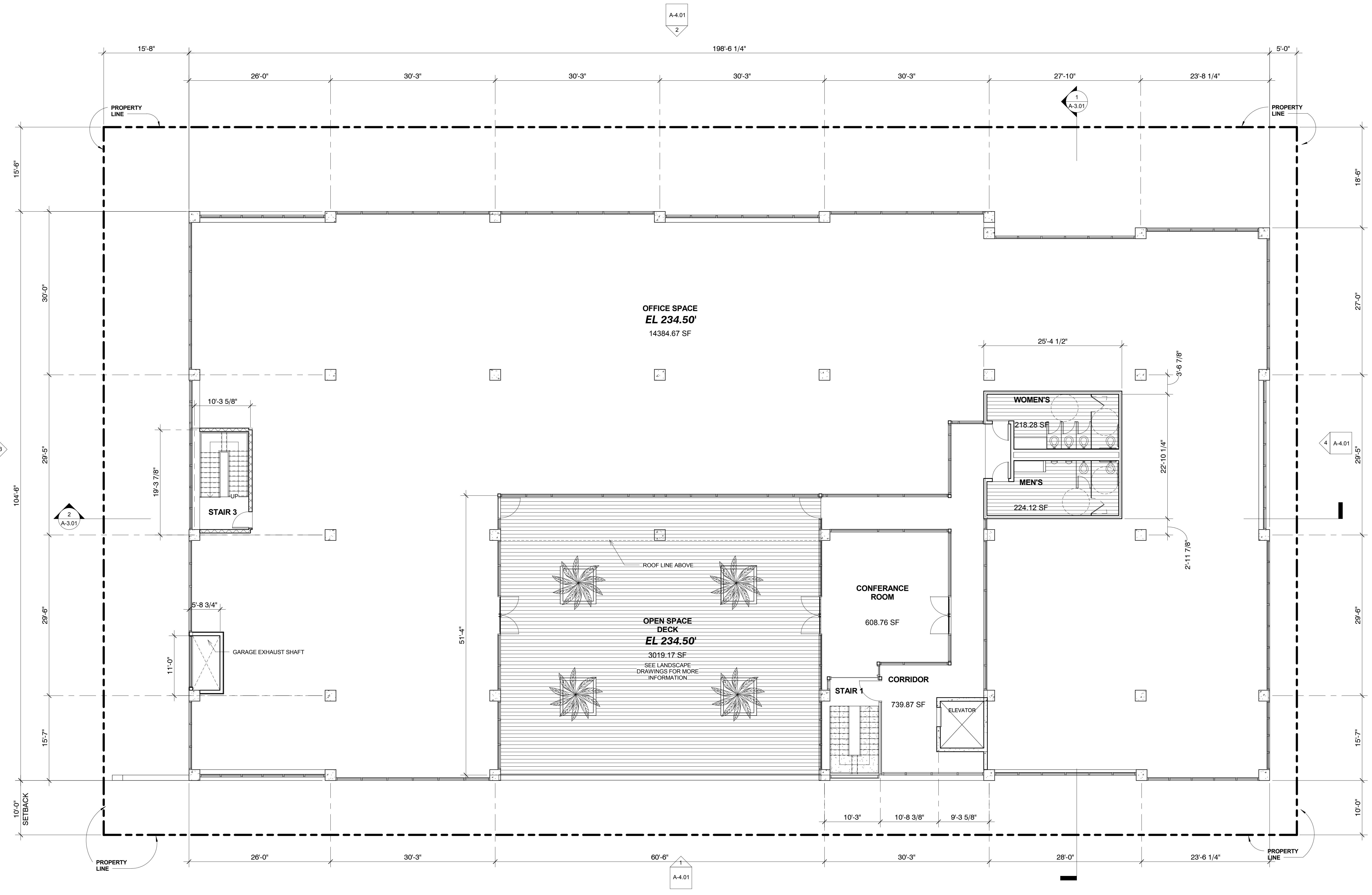
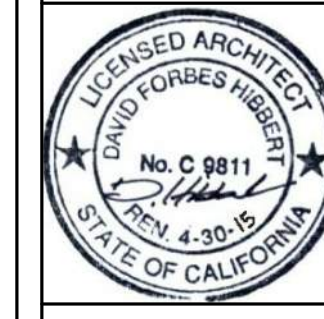
KEYNOTES



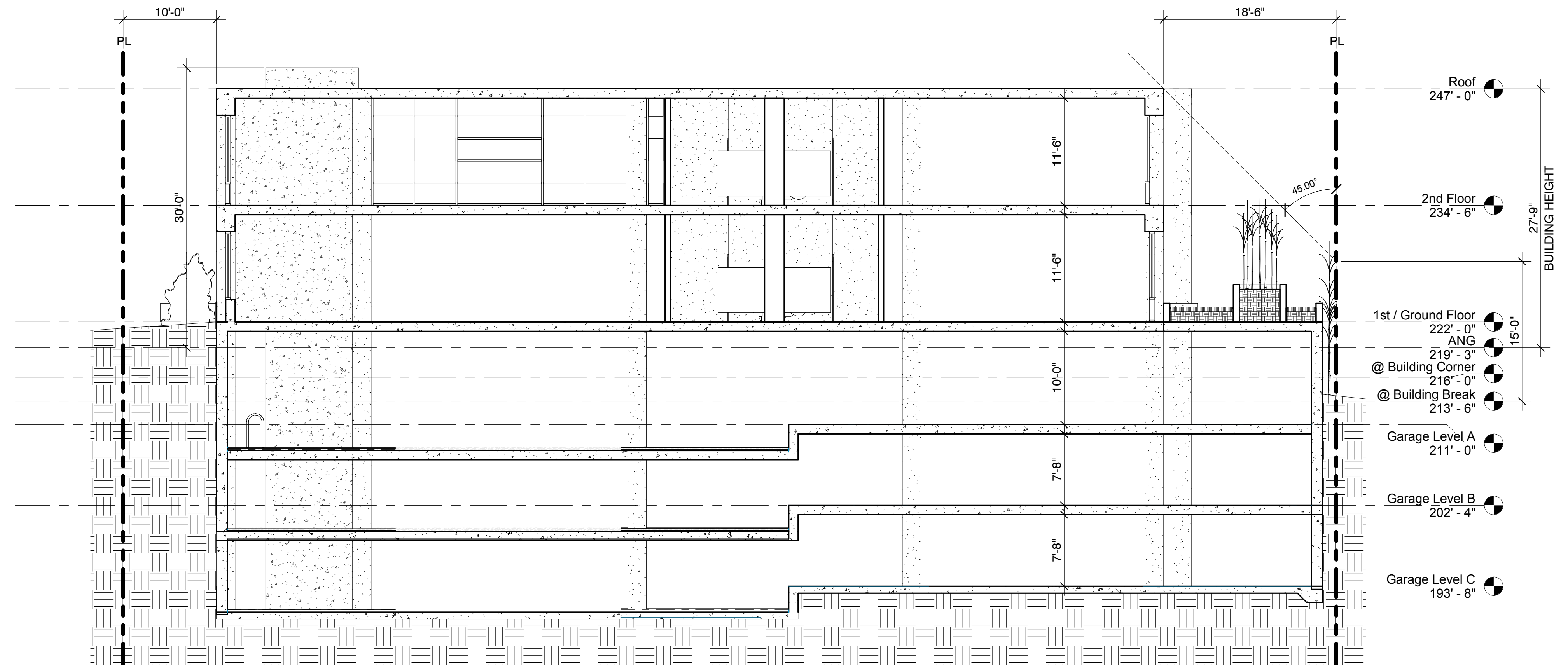
SEPULVEDA BLVD

2/17/2016 9:37:09 AM

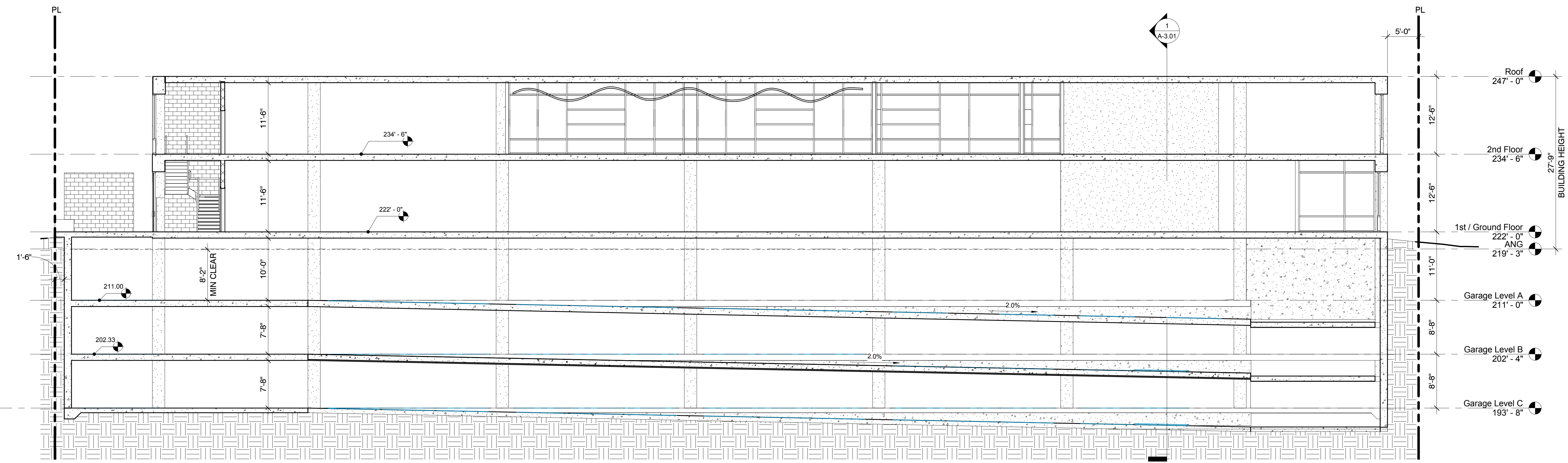
KEYNOTES



2/17/2016 9:37:09 AM



Section AA SCALE: 1/8" = 1'-0" 1



Section BB SCALE: 1/8" = 1'-0" 2

GENERAL NOTES

KEYNOTES

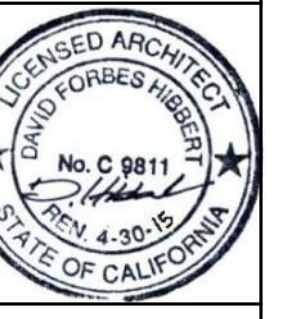
1544 20th Street 3rd Fl. CA
 415.339.4045
 info@dfh.com
 www.dfh.com



Skechers
 305 S. Sepulveda Blvd.
 Manhattan Beach, CA 90266

SCHEMATIC DESIGN SET
 OCTOBER 07, 2015

BUILDING SECTIONS

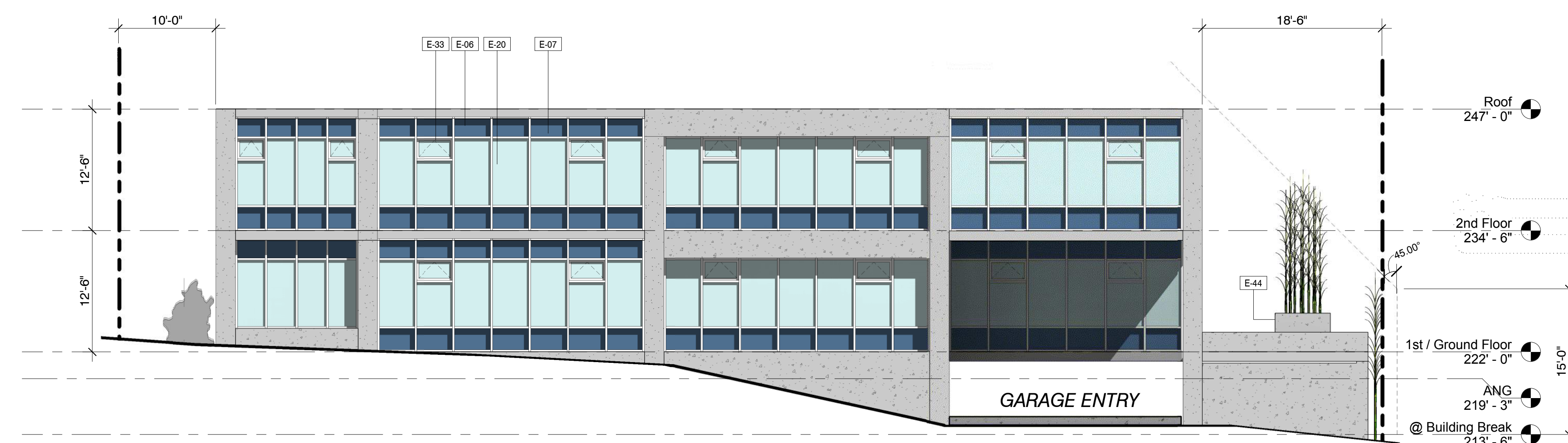


Date: 08/14/15
 Scale: 1/8" = 1'-0"
 By: DR
 Project No: 1527
 Page No:
A-3.01
 OF

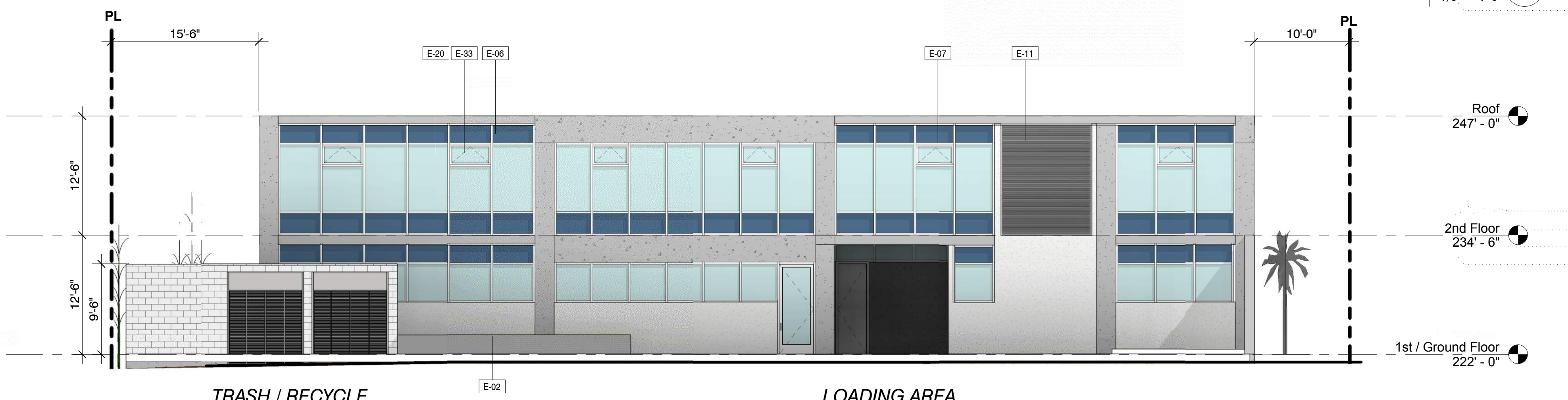
KEYNOTES

E-02	EXTERIOR CEMENT PLASTER O/ METAL LATH W/ SMOOTH TROWEL FINISH W/ INTEGRAL COLOR AND PAINTED, U.O.N.
E-03	EXPOSED STRUCTURAL CONCRETE; SMOOTH-FORMED FINISH (CLASS A)
E-06	BLUE SPANDREL GLASS, TYP. BACKED W/ R-13 INSULATION, 2GA. STUDS & GYPSUM
E-07	CURTAIN WALL SYSTEM W KYNAR FINISH, SILVER
E-10	CLAD W/ 24" SQUARE STAINLESS STEEL PANELS (SHINGLE-STYLE)
E-11	GARAGE EXHAUST LOUVER. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
E-20	CLEAR LOW E GLASS, TYP.
E-33	OPERABLE AWNING-STYLE WINDOW, TYP.
E-44	PLANTER. SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION

1544 20th Street S.M. CA
 1-818-394-4045
 info@dfh.com
 www.dfh.com



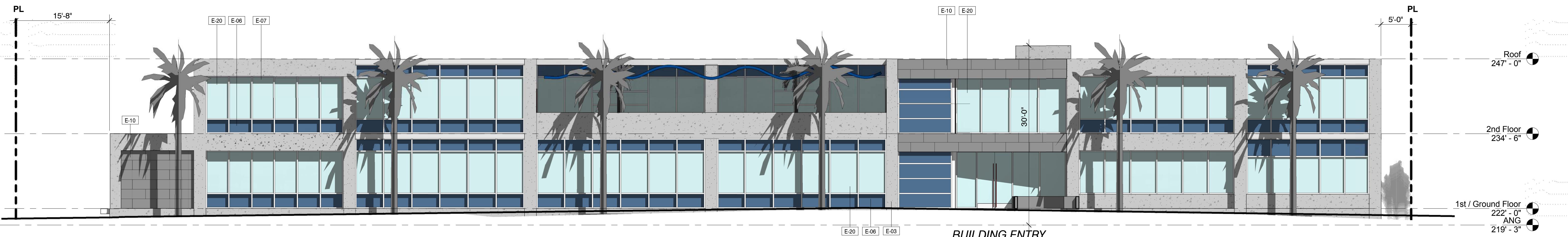
North SCALE: 1/8" = 1'-0" 4



South SCALE: 1/8" = 1'-0" 3



West SCALE: 1/8" = 1'-0" 2



East SCALE: 1/8" = 1'-0" 1

Skechers
 305 S. Sepulveda Blvd.
 Manhattan Beach, CA 90266

1ST PLAN CHECK SUBMITTAL
 MAY 18, 2015

BUILDING ELEVATIONS



Date: 06/15/15
 Scale: 1/8" = 1'-0"
 By: Author
 Project No: 1527
 Page No: A-4.01
 OF