

**STRAND & PIER HOTEL - HERMOSA BEACH**

Area Calculations 2015 1125

GROUND LEVEL		
<b>Public Space:</b>		
Lobby Lounge	3,579	NSF
Front Desk	708	NSF
Foyer	609	NSF
Restaurant	8,213	NSF
Retail	5,406	NSF
Public Circulation	1,785	NSF
Restrooms	616	NSF
<b>Total Ground Level Public Space</b>	<b>20,916</b>	<b>NSF</b>
<b>Back of House:</b>		
Food & Beverage	1,914	NSF
Hotel Administration	375	NSF
L/V	73	NSF
General BOH	3,816	NSF
MEP	670	NSF
<b>Total Ground Level Back of House</b>	<b>6,848</b>	<b>NSF</b>
<b>Vertical Circulation</b>	<b>859</b>	<b>NSF</b>
<b>Total Ground Level</b>	<b>28,623</b>	<b>GSF</b>

SECOND LEVEL		
<b>Guestrooms:</b>		
Guestroom (Typical module)	383	NSF
Guestroom Total (51 Keys)	20,133	NSF
Public Circulation	4,287	NSF
<b>Total Second Level Guestrooms</b>	<b>24,420</b>	<b>NSF</b>
<b>Back of House:</b>		
Guestroom support	281	NSF
MEP	1,074	NSF
<b>Total Second Level Back of House</b>	<b>1,355</b>	<b>NSF</b>
<b>Vertical Circulation</b>	<b>736</b>	<b>NSF</b>
<b>Total Second Level</b>	<b>26,511</b>	<b>GSF</b>

THIRD LEVEL		
<b>Guestrooms:</b>		
Guestroom (Typical module)	383	NSF
Guestroom Total (49 Keys)	19,576	NSF
Public Circulation	4,287	NSF
<b>Total Third Level Guestrooms</b>	<b>23,863</b>	<b>NSF</b>
<b>Back of House:</b>		
Guestroom support	281	NSF
MEP	299	NSF
<b>Total Third Level Back of House</b>	<b>580</b>	<b>NSF</b>
<b>Vertical Circulation</b>	<b>736</b>	<b>NSF</b>
<b>Total Third Level</b>	<b>25,179</b>	<b>GSF</b>

EXTERIOR		
<b>Ground Level:</b>		
Porte Cochere	3,402	NSF
Loading Dock	1,877	NSF
Ramp	2,102	NSF
Outdoor Dining	2,711	NSF
Outdoor Lounge	901	NSF
Landscaped Area	988	NSF
<b>Total Ground Exterior</b>	<b>11,981</b>	<b>NSF</b>
<b>Second Level:</b>		
Guestroom Balconies	3,938	NSF
Deck	6,912	NSF
<b>Total Second Level Exterior</b>	<b>10,850</b>	<b>NSF</b>
<b>Third Level:</b>		
Guestroom Balconies	2,889	NSF
Open-Air ADA Ramp to Roof	692	NSF
<b>Total Third Level Exterior</b>	<b>3,581</b>	<b>NSF</b>
<b>Roof Terrace:</b>		
Public Rooftop Deck	3,580	NSF
Chef's Garden	376	NSF
Green Roof	2,661	NSF
Circulation	2,062	NSF
<b>Total Roof Level Outdoor Space</b>	<b>8,679</b>	<b>NSF</b>
<b>Total Exterior</b>	<b>35,091</b>	<b>GSF</b>

PUBLIC RIGHT OF WAY EASEMENTS:		
Dining	1,717	NSF
Planting	1,588	NSF
<b>Total Easements</b>	<b>3,305</b>	<b>GSF</b>

BASEMENT LEVEL B1		
<b>Public Space:</b>		
Lower Lobby	558	NSF
Conference & Meeting space	3,276	NSF
Spa / Wellness Center	2,857	NSF
<b>Total Basement Level Public Space</b>	<b>6,691</b>	<b>NSF</b>
<b>Back of House:</b>		
Conference & Meeting support	3,405	NSF
BOH Corridor	2,744	NSF
MEP	2,119	NSF
<b>Total Basement Level Back of House</b>	<b>8,268</b>	<b>NSF</b>
<b>Vertical Circulation</b>	<b>630</b>	<b>NSF</b>
<b>Parking</b>	<b>20,878</b>	<b>NSF</b>
<b>Total Basement Level B1</b>	<b>36,467</b>	<b>GSF</b>

BASEMENT LEVEL B2		
<b>Back of House:</b>		
BOH	1,015	NSF
BOH Corridor	867	NSF
MEP	1,604	NSF
<b>Total Basement Level Back of House</b>	<b>3,486</b>	<b>NSF</b>
<b>Vertical Circulation</b>	<b>650</b>	<b>NSF</b>
<b>Parking</b>	<b>32,331</b>	<b>NSF</b>
<b>Total Basement Level B2</b>	<b>36,467</b>	<b>GSF</b>
<b>Cubic Yards Excavation</b>	<b>32,415</b>	<b>CY</b>
Avg ( 24'-0" Basement Height )		

ROOF TERRACE		
<b>Indoor Space:</b>		
Public Circulation	292	NSF
MEP	816	NSF
<b>Total Roof Level Indoor Space</b>	<b>1,108</b>	<b>NSF</b>
<b>Vertical Circulation</b>	<b>675</b>	<b>NSF</b>
<b>Total Roof Terrace</b>	<b>1,783</b>	<b>GSF</b>

SUBTOTALS BY TYPE		
Retail	5,406	NSF
Restaurant	8,213	NSF
Spa/Wellness Center	2,857	NSF
Conference & Meeting Space	2,406	NSF
Public Circulation	2,947	NSF
Other Hotel Space (lobby, foyer, etc)	6,070	NSF
<b>Total Public Space</b>	<b>27,899</b>	<b>GSF</b>
Guestrooms	39,709	NSF
100 KEYS		
Guestroom Circulation	8,574	
<b>Total Guestroom</b>	<b>48,283</b>	<b>GSF</b>
Hotel Administrative / General BOH	5,279	NSF
Food & Beverage BOH	1,914	NSF
Conference & Meeting Support	3,405	NSF
Housekeeping Facilities	562	NSF
BOH Circulation	3,611	NSF
<b>Total Back of House</b>	<b>14,771</b>	<b>GSF</b>
<b>Total MEP</b>	<b>6,582</b>	<b>GSF</b>
<b>Vertical Circulation</b>	<b>4,286</b>	<b>GSF</b>
<b>Parking</b>	<b>53,209</b>	<b>GSF</b>
<b>Total Interior Space</b>	<b>155,030</b>	<b>GSF</b>

PARKING COUNTS		
<b>Basement - Level B1</b>		
Tandem	76	
ADA	1	
<b>Total B1</b>	<b>77</b>	
<b>Basement - Level B2</b>		
Compact	24	
Tandem	77	
<b>Total B2</b>	<b>101</b>	
<b>Total</b>	<b>178</b>	<b>Includes 10 EVA</b>

BICYCLE PARKING COUNTS		
Ground Level	30	
Basement	150	
<b>Total Bicycle Parking</b>	<b>180</b>	

PROJECT SITE		
<b>Owner:</b>		
	Strand & Pier Holding Co. LLC	
	8383 Wilshire Boulevard, Suite 920	
	Beverly Hills, CA 90013	
<b>Parcel Numbers/Addresses</b>		
4183-002-001	11 Pier Avenue, Hermosa Beach, CA	
4183-002-002	1250 The Strand, Hermosa Beach, CA	
4183-002-003	1272 The Strand, Hermosa Beach, CA	
4183-002-004	20 13th Street, Hermosa Beach, CA	
4183-002-017	19 Pier Avenue, Hermosa Beach, CA	
4183-002-018	30 13th Street, Hermosa Beach, CA	
4183-002-019	32 13th Street, Hermosa Beach, CA	
<b>Legal Description:</b>		
Lots 1-7in Block 13 of Hermosa Beach Tract, in the City of Hermosa Beach, County of Los Angeles, State of California, as per map recorded in Book 1 Page(s) 25 and 26 of Maps, in the Office of the County Recorder of said County;		
Lots 10-13 in Block 13 of Hermosa Beach Tract;		
Lots 19 and 20 in the Westerly 30 feet (front and rear) of Lot 31, in Block 13 of Hermosa Beach Tract.		
<b>Proposed Lot Coverage:</b>		
100% (39,950 SF)	BUILDING AREA	71.7% (28,623 SF)
	PAVED AREA	26.4% (10,554 SF)
	LANDSCAPED AREA	1.9% (739 SF)
<b>Zoning:</b>		
Zoning	C-2 Restricted Commercial	
Land Use	GC General Commercial	
Specific Plan	None / Coastal Zone	
<b>Required Setbacks</b>		
	Pier Plaza = 0 feet	
	The Strand = 0 feet	
	Beach Drive = 0 feet	
<b>Provided Easements</b>		
	Pier Plaza Dining Easement = 13 feet	
	Pier Plaza Planting Easement = 6 feet	
	Beach Drive Dining Easement = 15 feet	
<b>Height Limit</b>		
	Required/Max Allowed = 30'	
	Provided = 30' max / 3 stories	

PROJECT PROGRAM		
<b>GROSS LOT AREA (HOTEL)</b>	<b>39,950</b>	<b>GSF ( 0.92 acres)</b>
<b>NET SITE AREA</b>	<b>33,950</b>	<b>GSF</b>
<b>13TH COURT VACATED</b>	<b>1,804</b>	<b>GSF</b>
<b>BEACH DRIVE VACATED</b>	<b>4,186</b>	<b>GSF</b>
<b>GROSS BUILDING AREA</b>	<b>155,030</b>	<b>GSF</b>
<b>LOT COVERAGE</b>	<b>39,950</b>	<b>GSF (100%)</b>
	BUILDING AREA	71.6% (28,623 SF)
	PAVED AREA	25.8% (10,339 SF)
	LANDSCAPED AREA	2.6% (988 SF)
<b>Guest Rooms</b>		
Level 2	51	Keys
Level 3	49	Keys
<b>Total</b>	<b>100</b>	<b>Keys</b>
<b>Food &amp; Beverage</b>		
<i>Indoor</i>		
A - Hotel Restaurant	2,039	NSF
B - Restaurant (Pier Plaza)	1,573	NSF
C - Restaurant (Pier Plaza)	1,673	NSF
D - Restaurant (Pier Plaza)	1,674	NSF
E - Quick Restaurant (13th Street)	792	NSF
F - Quick Restaurant (13th Street)	462	NSF
Hotel Lobby Lounge	3,579	NSF
<b>Total</b>	<b>11,792</b>	<b>NSF</b>
<b>Retail</b>		
Hotel Sundries / Gift Shop	828	NSF
Bicycle Shop	1252	NSF
Pier Plaza Retail 1	1754	NSF
Pier Plaza Retail 2	1772	NSF
<b>Spa and Wellness Center</b>	<b>2857</b>	<b>NSF</b>
<b>Meeting and Banquet Space</b>	<b>2466</b>	<b>NSF</b>
<b>Total</b>	<b>10669</b>	<b>NSF</b>
<b>Total F&amp;B and Retail</b>		
<b>Total</b>	<b>22,461</b>	<b>NSF</b>
<i>Outdoor- On Site</i>		
A - Hotel Restaurant	500	NSF
B - Restaurant (Pier Plaza)	133	NSF
C - Restaurant (Pier Plaza)	133	NSF
D - Restaurant (Pier Plaza)	134	NSF
E - Quick Restaurant (13th Street)	64	NSF
F - Quick Restaurant (13th Street)	0	NSF
Hotel Outdoor Lounge	901	NSF
2nd Floor Terrace Lounge	6,912	NSF
Rooftop Skydeck / Garden	3,956	NSF
<b>Total</b>	<b>12,763</b>	<b>NSF</b>
<i>Outdoor- Off Site</i>		
Pier Plaza Right of Way	873	NSF
13th Street Right of Way	844	NSF
<b>Total Outdoor Off-Site</b>	<b>1,717</b>	<b>NSF</b>

APPLICABLE CODES AND STANDARDS		
BUILDING CODE	2012 INTERNATIONAL BUILDING CODE	
MECHANICAL	2012 INTERNATIONAL MECHANICAL CODE	
PLUMBING	2012 INTERNATIONAL PLUMBING CODE	
ELECTRICAL	2012 INTERNATIONAL ELECTRICAL CODE	
FIRE CODE	2009 INTERNATIONAL FIRE CODE	
ENERGY CODE	2009 INTERNATIONAL ENERGY CODE	
ENVIRONMENTAL	2012 INTERNATIONAL GREEN CONSTRUCTION CODE	

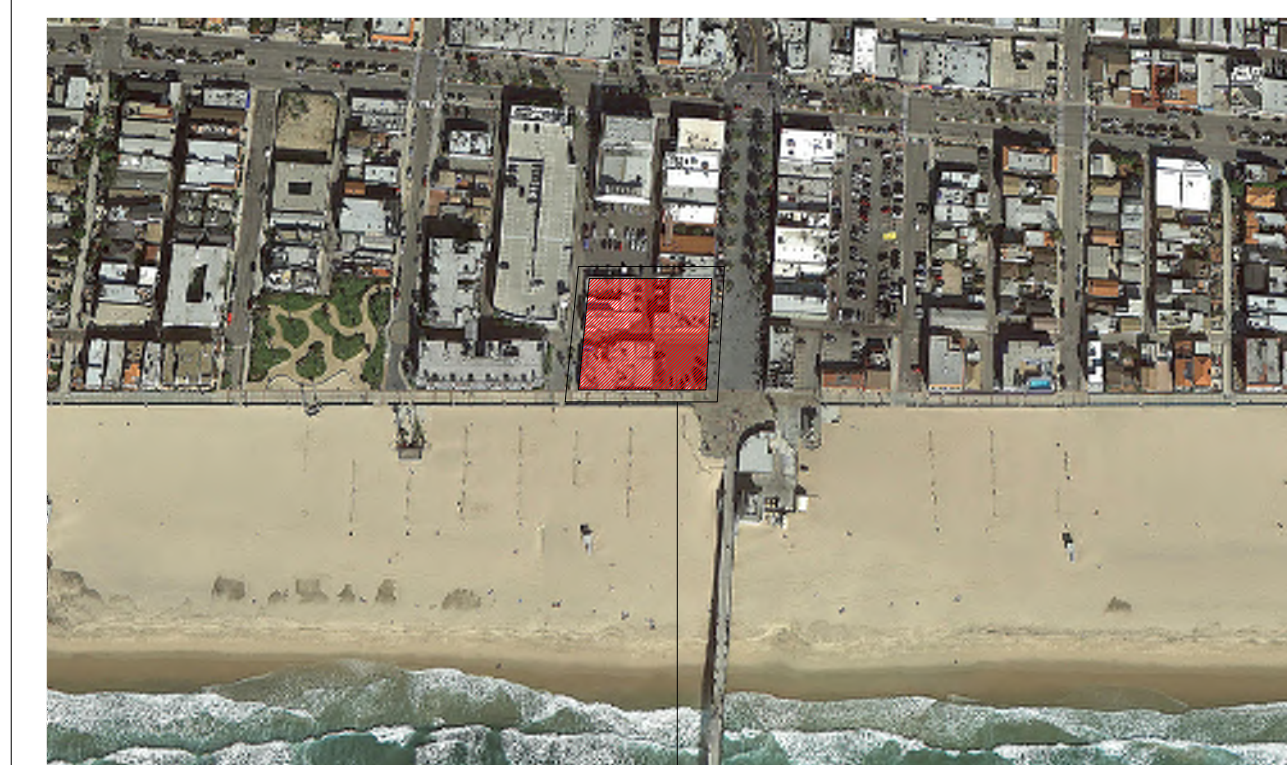
**PROJECT DESCRIPTION**

The Strand and Pier project involves the new construction of a mixed-use project with approximately 100-guest rooms, 22,400 square feet of commercial retail and restaurant uses, and approximately, and 5,200 square feet of public ballrooms, meeting rooms and spa facilities. The project is approximately 155,030 total square feet. The project includes two levels of subterranean parking with 178 on-site parking spaces, and 180 bicycle parking spaces.

The building is three stories and a maximum of 30-feet above ground, including a 3,956 square foot public rooftop deck, a green roof with chefs garden, and an approximately 8,000 square foot photovoltaic solar array to supplement hotel power use.

The project also contains approximately 12,700 square feet of public open space, plaza, and gathering areas on the property.

**VICINITY MAP**



**PROJECT SITE**  
 11 Pier Avenue, Hermosa Beach CA  
 19 Pier Avenue, Hermosa Beach CA  
 21 Pier Avenue, Hermosa Beach CA  
 21-30 Pier Avenue, Hermosa Beach CA  
 1250 The Strand, Hermosa Beach CA  
 1272 The Strand, Hermosa Beach CA  
 1286 The Strand, Hermosa Beach CA

NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM ABOVE GROUND LEVEL (+14.6' ACTUAL ABOVE SITE DATUM)

**SHEET INDEX**

	COVER SHEET
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A202	FLOOR PLAN - LEVEL 02
A203	FLOOR PLAN - LEVEL 03
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A205	ROOF PLAN
A401	TYPICAL GUESTROOM PLAN
A501	THE STRAND (WEST) ELEVATION
A502	PIER AVENUE (SOUTH) ELEVATION
A503	13TH STREET (SOUTH) ELEVATION
A504	LOT B (EAST) ELEVATION
A601	SECTION 01 & SECTION 02
PV01	RENDERING
PV02	RENDERING
PV03	RENDERING
PV04	RENDERING
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L103	GROUND LEVEL ENLARGEMENT PLAN
L104	GROUND LEVEL ENLARGEMENT PLAN
L105	13TH STREET PLAZA ENLARGEMENT PLAN
L106	GROUND LEVEL STREETScape PLANTING PALETTE
L107	13TH STREET PLAZA PLANTING PALETTE
L201	LEVEL 2 ENLARGEMENT PLAN
L202	LEVEL 2 PLANTING PALETTE
L301	ROOF LEVEL ENLARGEMENT PLAN
L302	ROOF LEVEL PLANTING PALETTE
L400	TREE DISPOSITION PLAN
L500	LOT B PARKING LOT LANDSCAPE PLAN



**OWNER**  
 STRAND & PIER HOLDING CO. LLC  
 8383 WILSHIRE BLVD, SUITE 920  
 BEVERLY HILLS, CA 90211

**DEVELOPER**  
 BOLOUR ASSOCIATES, INC.  
 8383 WILSHIRE BLVD, SUITE 920  
 BEVERLY HILLS, CA 90211

**ARCHITECT**  
 HKS ARCHITECTS, INC.  
 539 BRYANT STREET, SUITE 100  
 SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
 ENGLEKIRK STRUCTURAL ENGINEERS  
 888 S. FIGUEROA ST. 18TH FLOOR  
 LOS ANGELES, CA 90017

**MEP**  
 GLUMAC ENGINEERS  
 19200 VON KARMEN AVE - SUITE 100  
 IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
 AHE  
 617 WEST 7TH STREET - SUITE 304  
 LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
 PROVENANCE HOTELS  
 U.S. BANCORP TOWER  
 111 SW 5TH AVE - SUITE 1001  
 PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
 THREE6IXTY  
 4309 OVERLAND AVENUE  
 CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
 FUSCOE ENGINEERING  
 600 WILSHIRE BLVD, SUITE 1470  
 LOS ANGELES, CA 90017

**STRAND & PIER HOTEL  
 HERMOSA BEACH**

HKS PROJECT NUMBER

17377

DATE

DECEMBER 2, 2015

ISSUE

ENTITLEMENT SUBMITTAL

SHEET TITLE

PROJECT INFO

SHEET INDEX

SHEET NO.

**A00**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER

17377

DATE

DECEMBER 2, 2015

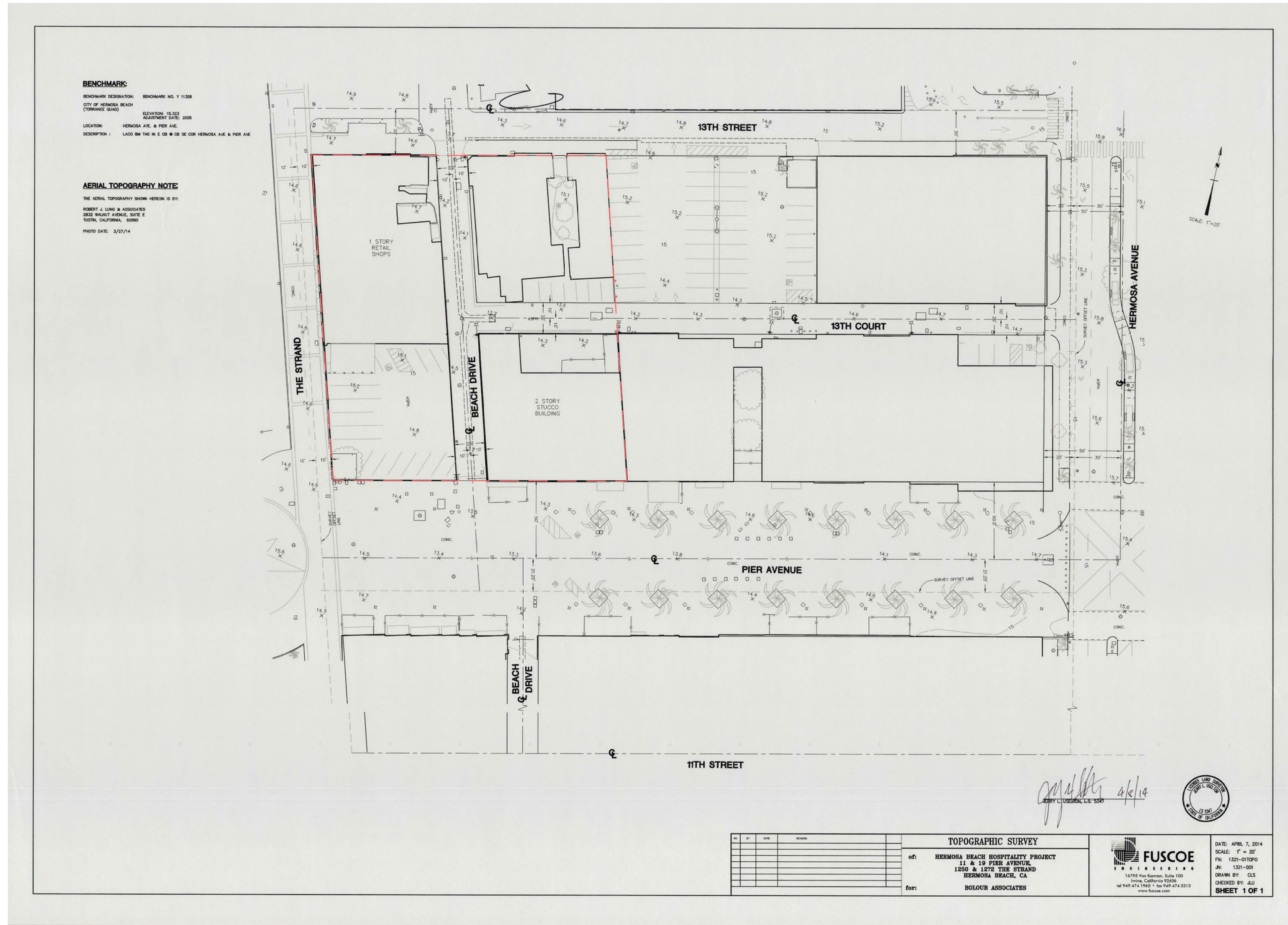
ISSUE

ENTITLEMENT SUBMITTAL

SHEET TITLE

SITE SURVEY

SHEET NO.  
**C100**



### SITE SURVEY PLAN



**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD., SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD., SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
19200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

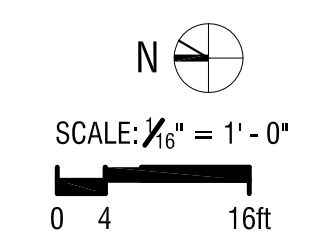
**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD., SUITE 1470  
LOS ANGELES, CA 90017

## STRAND & PIER HOTEL HERMOSA BEACH



### OVERALL SITE PLAN



HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
OVERALL SITE PLAN

SHEET NO.  
**A101**

BASEMENT LEVEL B2	
Back of House:	
BOH	1,015 NSF
BOH Corridor	867 NSF
MEP	1,604 NSF
<b>Total Basement Level Back of House</b>	<b>3,486 NSF</b>
Vertical Circulation	660 NSF
Parking	32,331 NSF
<b>Total Basement Level B2</b>	<b>36,487 GSF</b>
Cubic Yards Excavation Avg (24'-0" Basement Height)	32,415 CY

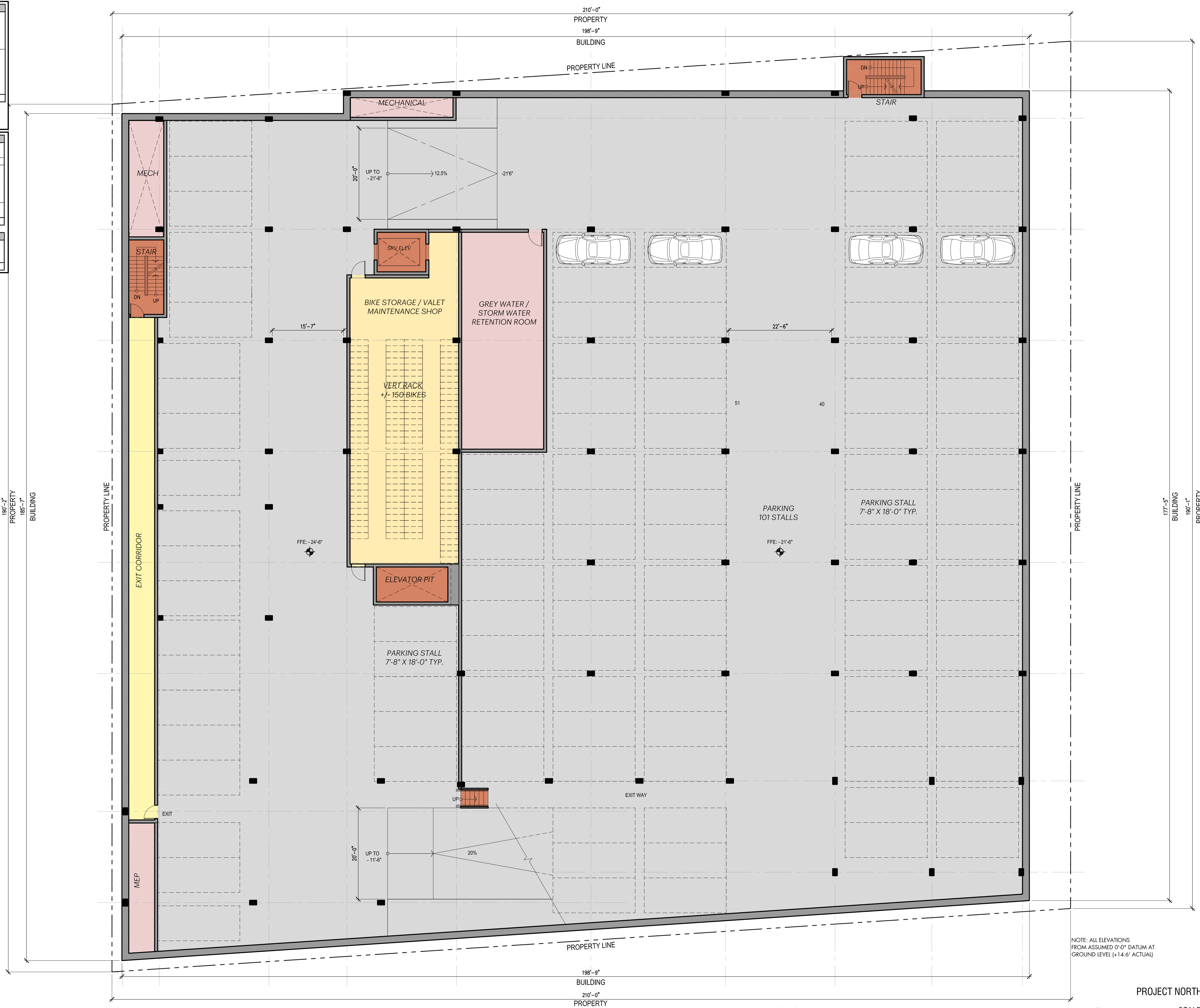
PARKING COUNTS	
Basement - Level B1	
Tandem	76
ADA	1
<b>Total B1</b>	<b>77</b>
Basement - Level B2	
Compact	24
Tandem	77
<b>Total B2</b>	<b>101</b>
<b>Total</b>	<b>178</b> *Includes 10 EVA

BICYCLE PARKING COUNTS	
Ground Level	30
Basement	150
<b>Total Bicycle Parking</b>	<b>180</b>

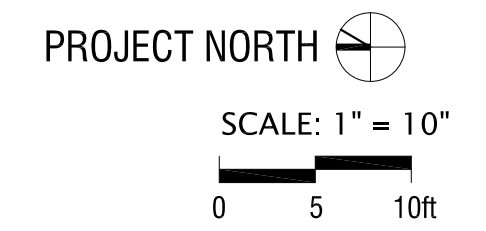
**LEGEND**

<span style="display:inline-block; width:10px; height:10px; background-color:yellow; border:1px solid black;"></span> Hotel F&B / Public space	<span style="display:inline-block; width:10px; height:10px; background-color:yellow; border:1px solid black;"></span> Circulation
<span style="display:inline-block; width:10px; height:10px; background-color:orange; border:1px solid black;"></span> Guestroom	<span style="display:inline-block; width:10px; height:10px; background-color:orange; border:1px solid black;"></span> Vertical circulation
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> Food & beverage Mtg	<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span> Parking
<span style="display:inline-block; width:10px; height:10px; background-color:lightgreen; border:1px solid black;"></span> Spa	<span style="display:inline-block; width:10px; height:10px; background-color:lightgreen; border:1px solid black;"></span> Terrace
<span style="display:inline-block; width:10px; height:10px; background-color:lightpurple; border:1px solid black;"></span> Retail	<span style="display:inline-block; width:10px; height:10px; background-color:lightpurple; border:1px solid black;"></span> Exterior circulation
<span style="display:inline-block; width:10px; height:10px; background-color:lightyellow; border:1px solid black;"></span> Back of house	<span style="display:inline-block; width:10px; height:10px; background-color:lightyellow; border:1px solid black;"></span> Landscape / planting
<span style="display:inline-block; width:10px; height:10px; background-color:lightpink; border:1px solid black;"></span> MEP	<span style="display:inline-block; width:10px; height:10px; background-color:lightpink; border:1px solid black;"></span> Water feature



**FLOOR PLAN - BASEMENT- LEVEL B-2**

NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)



- OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211
- DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211
- ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107
- STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017
- MEP**  
GLUMAC ENGINEERS  
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IRVINE, CA 92612
- LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017
- HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205
- LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230
- CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

**STRAND & PIER HOTEL  
HERMOSA BEACH**

HKS PROJECT NUMBER  
17377

DATE  
DECEMBER 2, 2015

ISSUE  
ENTITLEMENT SUBMITTAL

SHEET TITLE  
FLOOR PLAN  
BASEMENT  
LEVEL B-2

SHEET NO.  
**A20B2**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER

17377

DATE

DECEMBER 2, 2015

ISSUE

ENTITLEMENT SUBMITTAL

SHEET TITLE

FLOOR PLAN

BASEMENT

LEVEL B-1

SHEET NO.

**A20B1**

BASEMENT LEVEL B1	
<b>Public Space:</b>	
Lower Lobby	558 NSF
Conference & Meeting space	3,276 NSF
Spa / Wellness Center	2,857 NSF
<b>Total Basement Level Public Space</b>	<b>6,691 NSF</b>
<b>Back of House:</b>	
Conference & Meeting support	3,405 NSF
BOH Corridor	2,744 NSF
MEP	2,119 NSF
<b>Total Basement Level Back of House</b>	<b>8,268 NSF</b>
Vertical Circulation	630 NSF
Parking	20,878 NSF
<b>Total Basement Level B1</b>	<b>36,467 GSF</b>

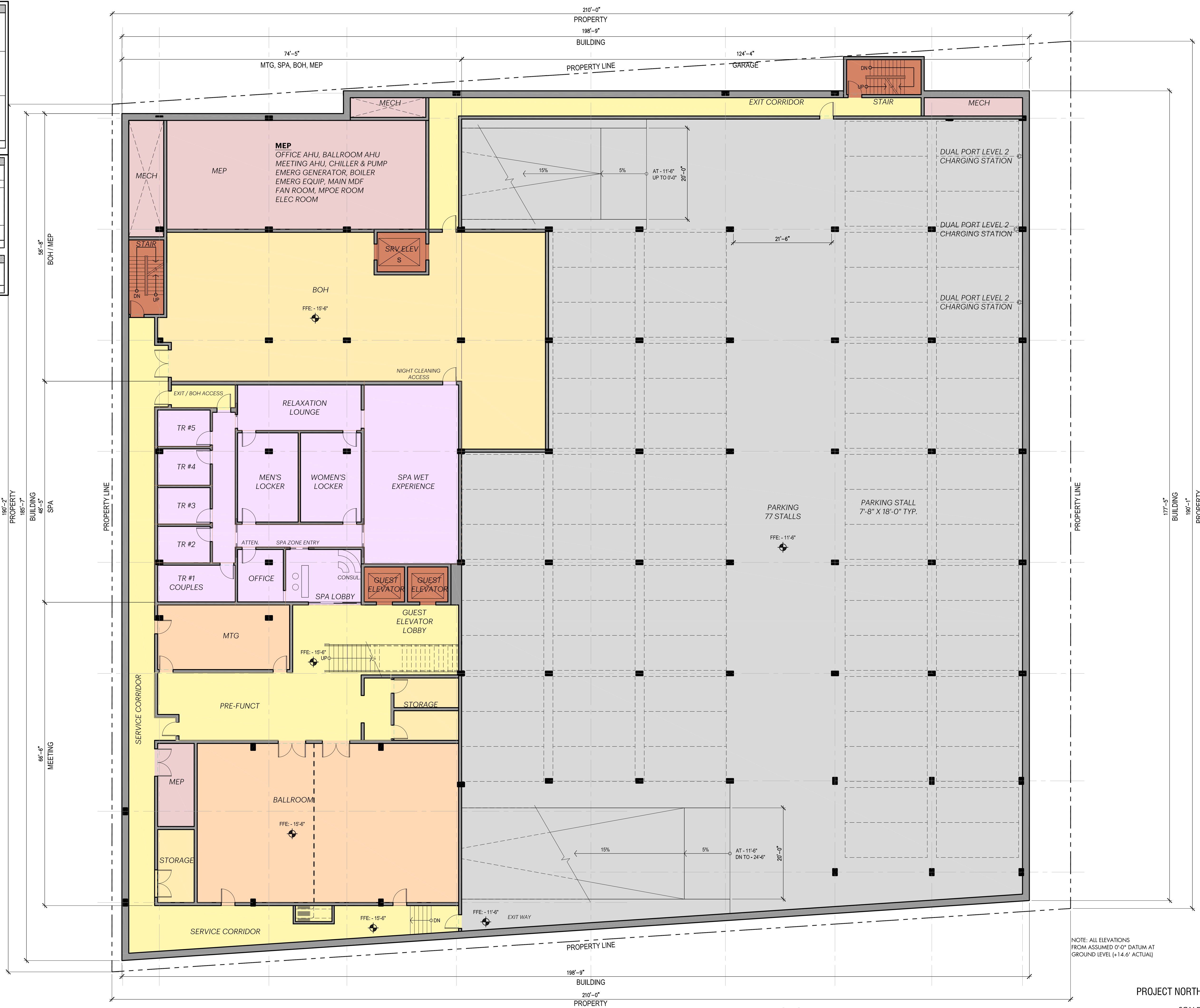
PARKING COUNTS	
Basement - Level B1	
Tandem	76
ADA	1
<b>Total B1</b>	<b>77</b>
Basement - Level B2	
Compact	24
Tandem	77
<b>Total B2</b>	<b>101</b>
<b>Total</b>	<b>178</b> *Includes 10 EVA

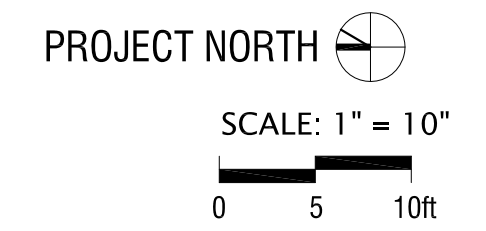
BICYCLE PARKING COUNTS	
Ground Level	30
Basement	150
<b>Total Bicycle Parking</b>	<b>180</b>

**LEGEND**

<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Hotel F&B / Public space	<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Circulation
<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Guestroom	<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Vertical circulation
<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Food & beverage Mtg	<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Parking
<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Spa	<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Terrace
<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Retail	<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Exterior circulation
<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Back of house	<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Landscape / planting
<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> MEP	<span style="display:inline-block; width:15px; height:15px; background-color:#fff9c4; border:1px solid black;"></span> Water feature



**FLOOR PLAN - BASEMENT- LEVEL B-1**



NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
LEVEL 01  
FLOOR PLAN

SHEET NO.  
**A201**

GROUND LEVEL	
Public Space:	
Lobby Lounge	3,579 NSF
Front Desk	708 NSF
Foyer	608 NSF
Restaurant	8,213 NSF
Retail	5,406 NSF
Public Circulation	1,785 NSF
Restrooms	616 NSF
<b>Total Ground Level Public Space</b>	<b>20,916 NSF</b>
Back of House:	
Food & Beverage	1,914 NSF
Hotel Administration	375 NSF
L/V	73 NSF
General BOH	3,816 NSF
MEP	670 NSF
<b>Total Ground Level Back of House</b>	<b>6,848 NSF</b>
Vertical Circulation	859 NSF
<b>Total Ground Level</b>	<b>28,623 GSF</b>

EXTERIOR	
Ground Level:	
Porte Cochere	3,402 NSF
Loading Dock	1,877 NSF
Ramp	2,102 NSF
Outdoor Dining	2,711 NSF
Outdoor Lounge	901 NSF
Landscaped Area	988 NSF
<b>Total Ground Exterior</b>	<b>11,981 NSF</b>

Public Right of Way Easements:	
Dining	1,717 NSF
Planting	1,588 NSF
<b>Total Easements</b>	<b>3,305 GSF</b>

BICYCLE PARKING COUNTS	
Ground Level	30
Basement	150
<b>Total Bicycle Parking</b>	<b>180</b>

LEGEND	
Hotel F&B / Public space	Circulation
Guestroom	Vertical circulation
Food & beverage Mtg	Parking
Spa	Terrace
Retail	Exterior circulation
Back of house	Landscape / planting
MEP	Water feature



**FLOOR PLAN - LEVEL 01**

NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)  
SCALE: 1" = 10'  
0 5 10ft



**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLER STRUTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
19200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

SECOND LEVEL		
Guestrooms:	(Typical module)	383 NSF
Guestroom Total	(51 Keys)	20,133 NSF
Public Circulation		4,287 NSF
Total Second Level Guestrooms		24,420 NSF
Back of House:		
Guestroom support		281 NSF
MEP		1,074 NSF
Total Second Level Back of House		1,355 NSF
Vertical Circulation		736 NSF
<b>Total Second Level</b>		<b>26,511 GSF</b>

EXTERIOR		
Second Level:		
Guestroom Balconies		3,938 NSF
Deck		6,912 NSF
<b>Total Second Level Exterior</b>		<b>10,850 NSF</b>

**LEGEND**

	Hotel F&B / Public space		Circulation
	Guestroom		Vertical circulation
	Food & beverage Mtg		Parking
	Spa		Terrace
	Retail		Exterior circulation
	Back of house		Landscape / planting
	MEP		Water feature



NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)

PROJECT NORTH

SCALE: 1" = 10"  
0 5 10ft

## FLOOR PLAN - LEVEL 02

# STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
FLOOR PLAN  
LEVEL 02  
SHEET NO.  
**A202**

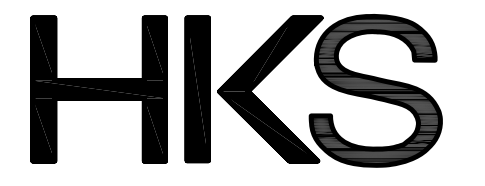


THIRD LEVEL	
Guestrooms:	
Guestroom (Typical module)	383 NSF
Guestroom Total (49 Keys)	19,576 NSF
Public Circulation	4,287 NSF
<b>Total Third Level Guestrooms</b>	<b>23,863 NSF</b>
Back of House:	
Guestroom support	281 NSF
MEP	299 NSF
<b>Total Third Level Back of House</b>	<b>580 NSF</b>
Vertical Circulation	736 NSF
<b>Total Third Level</b>	<b>25,179 GSF</b>

EXTERIOR	
Third Level:	
Guestroom Balconies	2,889 NSF
Open-Air ADA Ramp to Roof	692 NSF
<b>Total Third Level Exterior</b>	<b>3,581 NSF</b>

**LEGEND**

	Hotel F&B / Public space		Circulation
	Guestroom		Vertical circulation
	Food & beverage Mtg		Parking
	Spa		Terrace
	Retail		Exterior circulation
	Back of house		Landscape / planting
	MEP		Water feature



**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
19200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

**STRAND & PIER HOTEL  
HERMOSA BEACH**

HKS PROJECT NUMBER

17377

DATE

DECEMBER 2, 2015

ISSUE

ENTITLEMENT SUBMITTAL

SHEET TITLE

FLOOR PLAN

LEVEL 03

SHEET NO.

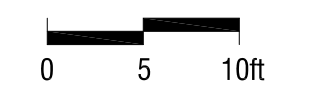
**A203**

**FLOOR PLAN - LEVEL 03**

NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)



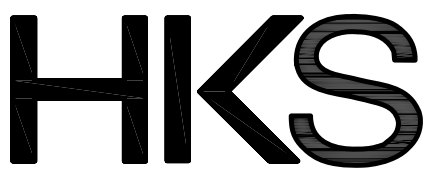
SCALE: 1" = 10'



ROOF TERRACE	
Indoor Space:	
Public Circulation	292 NSF
MEP	816 NSF
Total Roof Level Indoor Space	1,108 NSF
Vertical Circulation	675 NSF
<b>Total Roof Terrace</b>	<b>1,783 GSF</b>

EXTERIOR	
Roof Terrace:	
Public Rooftop Deck	3,580 NSF
Chef's Garden	376 NSF
Green Roof	2,851 NSF
Circulation	2,062 NSF
<b>Total Roof Level Outdoor Space</b>	<b>8,679 NSF</b>

LEGEND	
Hotel F&B / Public space	Circulation
Guestroom	Vertical circulation
Food & beverage Mtg	Parking
Spa	Terrace
Retail	Exterior circulation
Back of house	Landscape / planting
MEP	Water feature



**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

**STRAND & PIER HOTEL  
HERMOSA BEACH**

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
ROOF TERRACE PLAN

SHEET NO.  
**A204**

NOTE: ALL ELEVATIONS  
FROM ASSUMED 0'-0" DATUM AT  
GROUND LEVEL (+14.6' ACTUAL)

PROJECT NORTH

SCALE: 1" = 10'  
0 5 10ft

**ROOF TERRACE PLAN**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

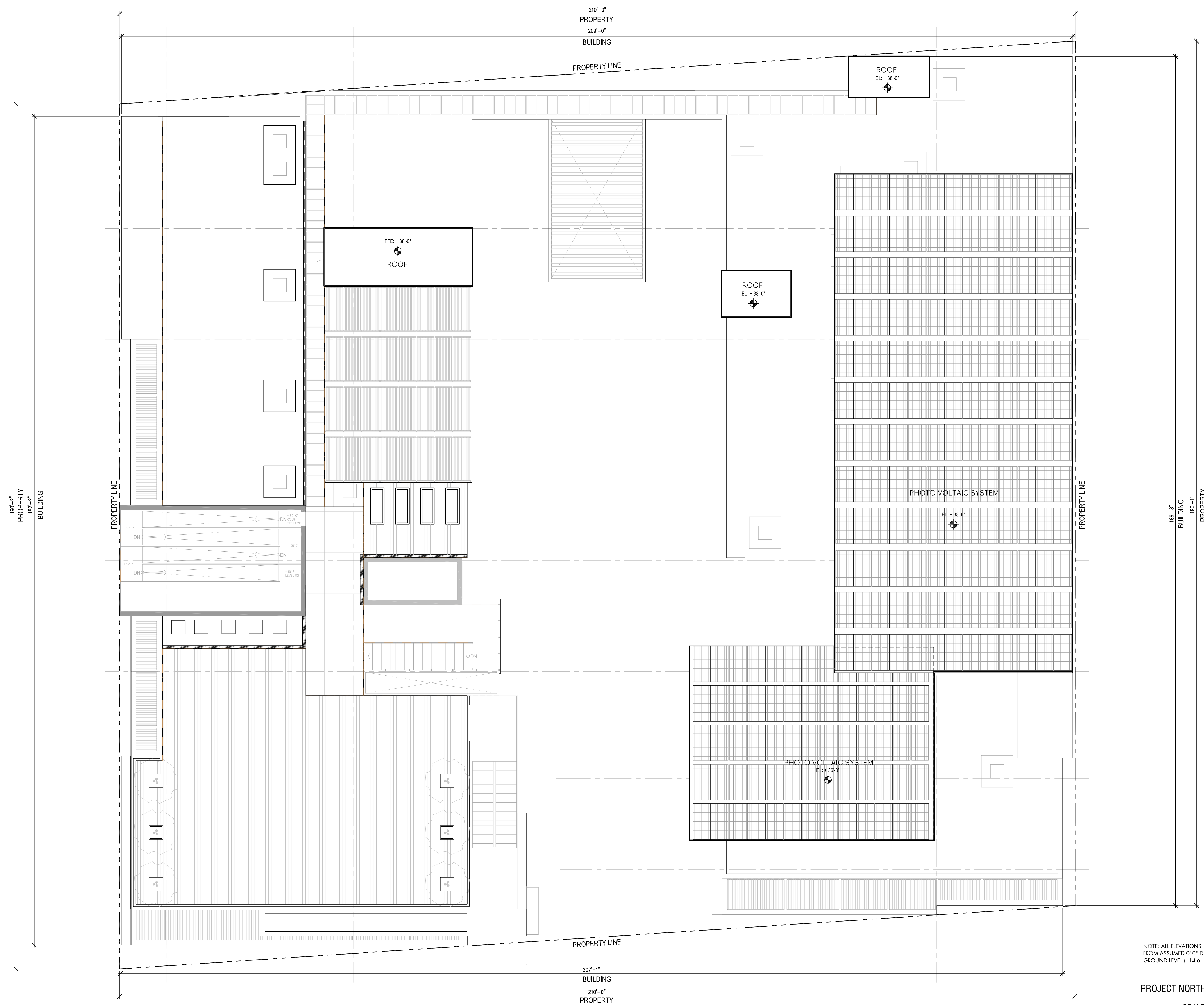
**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

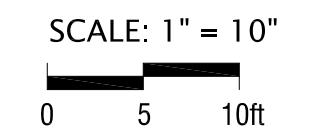
**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

## STRAND & PIER HOTEL HERMOSA BEACH



**ROOF PLAN - SOLAR ARRAY & OVER-RIDES**

NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)



HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
ROOF PLAN  
SOLAR ARRAY &  
OVER-RIDES  
SHEET NO.  
**A205**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

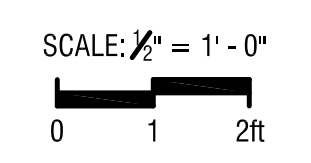
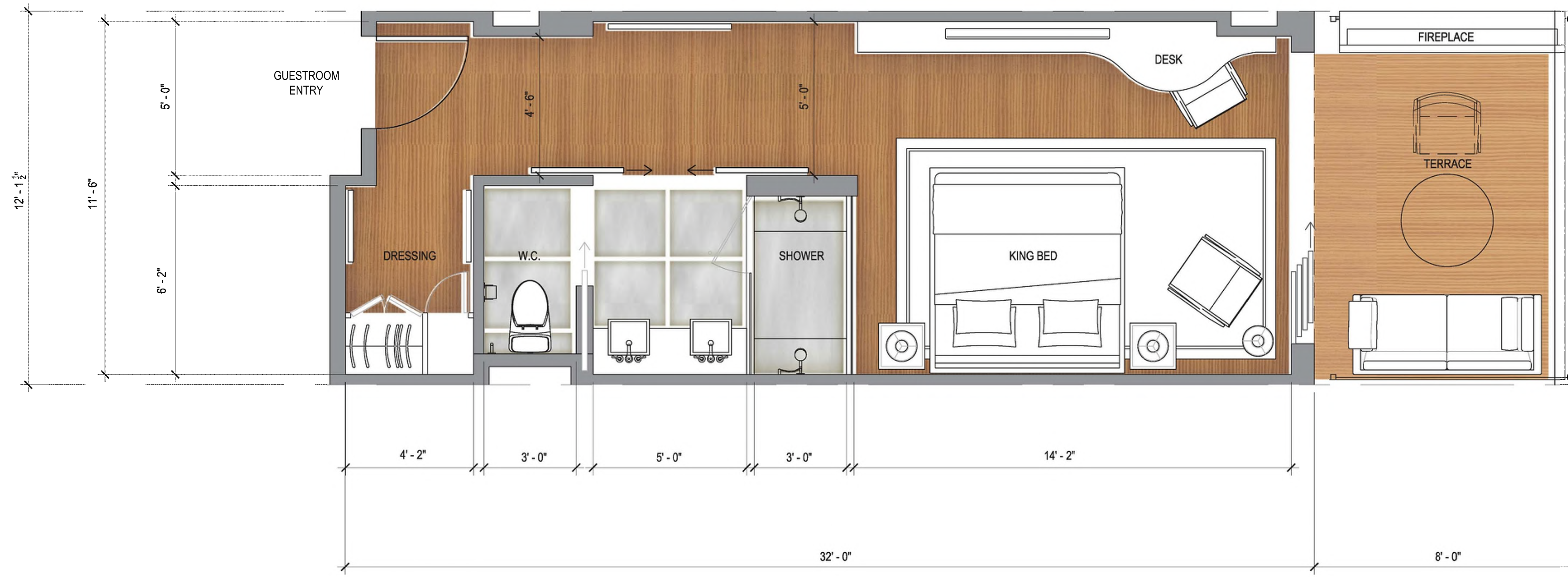
**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

## STRAND & PIER HOTEL HERMOSA BEACH



HKS PROJECT NUMBER  
17377

DATE  
DECEMBER 2, 2015

ISSUE  
ENTITLEMENT SUBMITTAL

SHEET TITLE  
ENLARGED TYPICAL  
GUESTROOM

SHEET NO.  
**A401**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 16TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

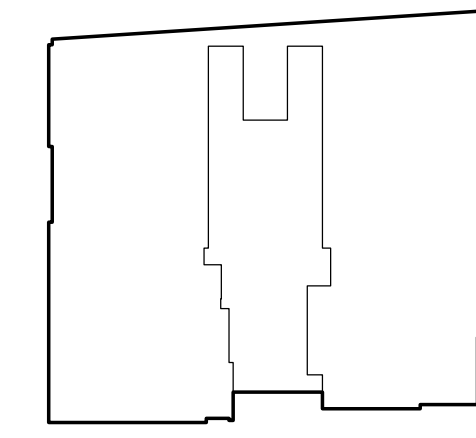
**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

- (A) CEMENT PLASTER
- (B) WOOD CLADDING
- (C) GLASS GUARDRAIL
- (D) WOOD GUARDRAIL
- (E) OPERABLE PAINTED ALUMINUM STOREFRONT/WINDOW WALL
- (F) PAINTED ALUMINUM TRELLIS
- (G) WOOD SOFFIT
- (H) STONE
- (I) METAL SOLAR PANEL ARRAY



## STRAND & PIER HOTEL HERMOSA BEACH

SCALE: 1" = 10"  
0 5 10ft

NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL

SHEET TITLE  
STRAND (WEST)  
ELEVATION

SHEET NO.  
**A501**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST., 16TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

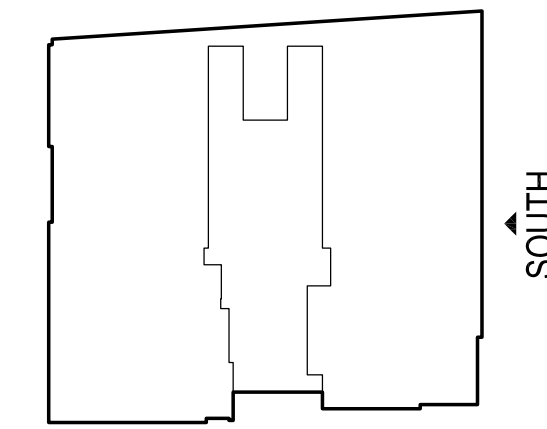
**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE60TY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

- (A) CEMENT PLASTER
- (B) WOOD CLADDING
- (C) GLASS GUARDRAIL
- (D) WOOD GUARDRAIL
- (E) OPERABLE PAINTED ALUMINUM STOREFRONT/WINDOW WALL
- (F) PAINTED ALUMINUM TRELLIS
- (G) WOOD SOFFIT
- (H) STONE
- (I) METAL SOLAR PANEL ARRAY

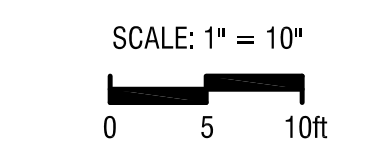


KEY PLAN



## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
PIER (SOUTH)  
ELEVATION



NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)

SHEET NO.  
**A502**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST, 16TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 304  
IRVINE, CA 92612

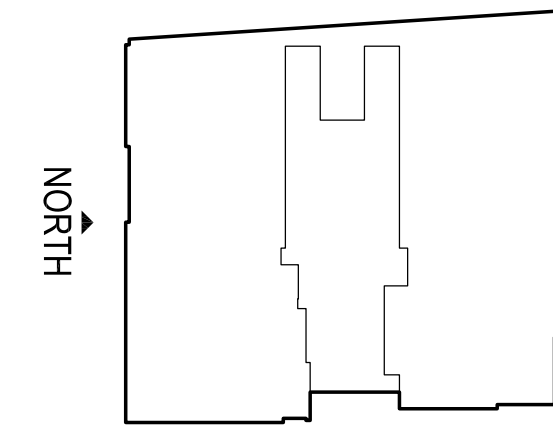
**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE60TY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

- (A) CEMENT PLASTER
- (B) WOOD CLADDING
- (C) GLASS GUARDRAIL
- (D) WOOD GUARDRAIL
- (E) OPERABLE PAINTED ALUMINUM STOREFRONT/WINDOW WALL
- (F) PAINTED ALUMINUM TRELLIS
- (G) WOOD SOFFIT
- (H) STONE
- (I) METAL SOLAR PANEL ARRAY



KEY PLAN



## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER

17377

DATE

DECEMBER 2, 2015

ISSUE

ENTITLEMENT SUBMITTAL

SHEET TITLE

13TH STREET (NORTH)  
ELEVATION

SHEET NO.

### A503

SCALE: 1" = 10"  
0 5 10ft

NOTE: ALL ELEVATIONS  
FROM ASSUMED 0'-0" DATUM AT  
GROUND LEVEL (+14.6' ACTUAL)

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 16TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

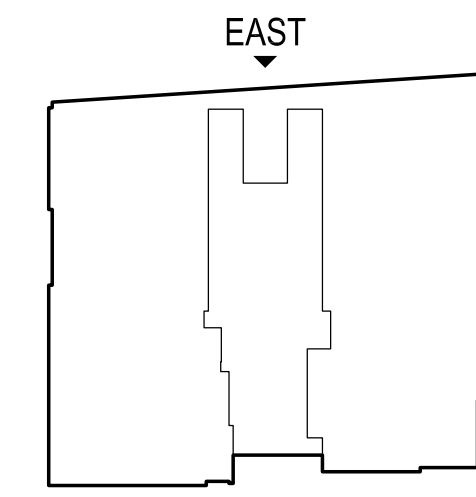
**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017

- (A) CEMENT PLASTER
- (B) WOOD CLADDING
- (C) GLASS GUARDRAIL
- (D) WOOD GUARDRAIL
- (E) OPERABLE PAINTED ALUMINUM STOREFRONT/WINDOW WALL
- (F) PAINTED ALUMINUM TRELLIS
- (G) WOOD SOFFIT
- (H) STONE
- (I) METAL SOLAR PANEL ARRAY



KEY PLAN



## STRAND & PIER HOTEL HERMOSA BEACH

SCALE: 1" = 10"  
0 5 10ft

NOTE: ALL ELEVATIONS  
FROM ASSUMED 0'-0" DATUM AT  
GROUND LEVEL (+14.6' ACTUAL)

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
LOT B  
(EAST) ELEVATION

SHEET NO.  
**A504**



**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

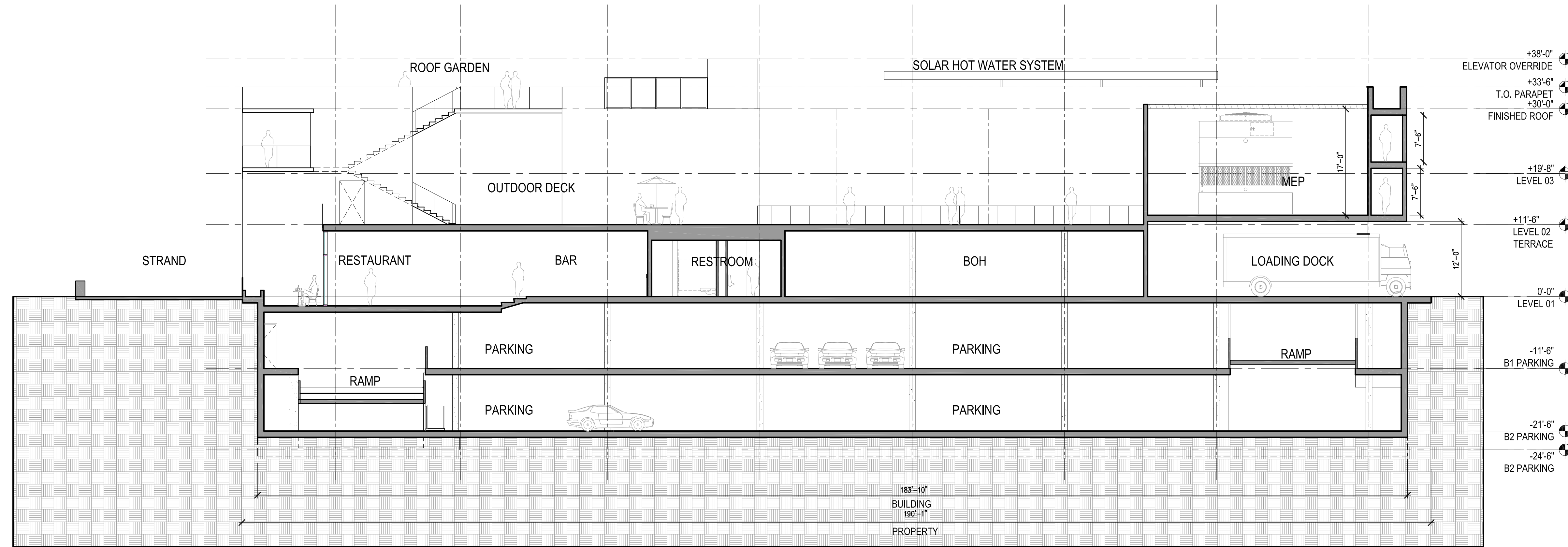
**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

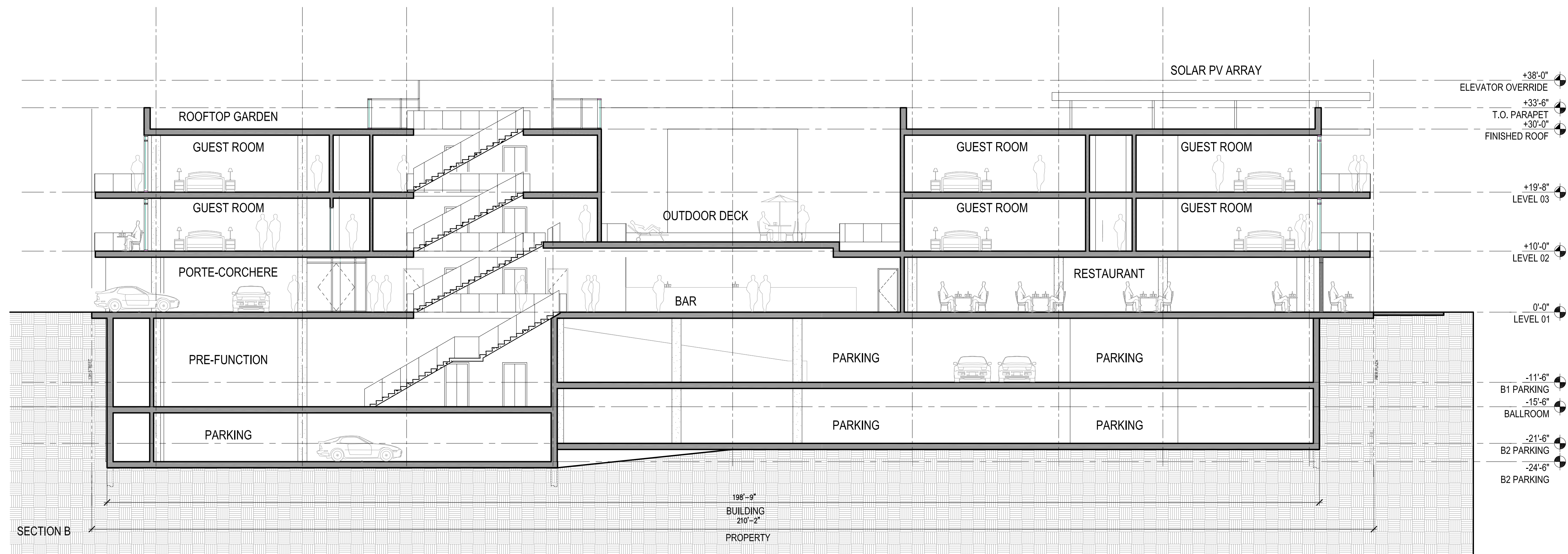
**HOTEL OPERATOR**  
PROVENCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

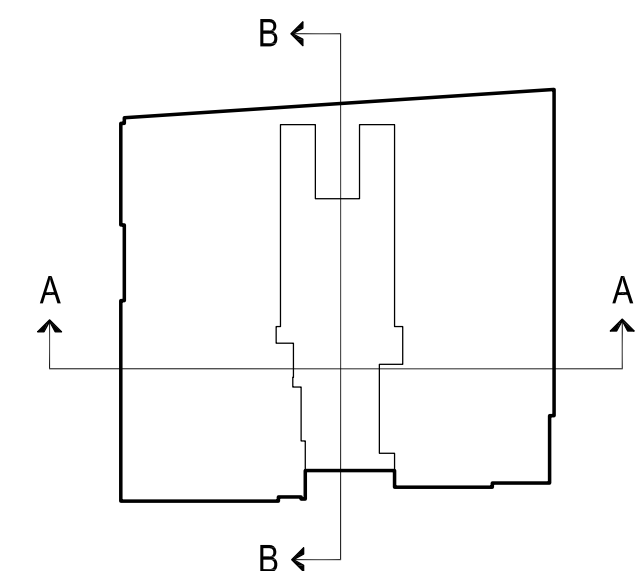
**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017



SECTION A

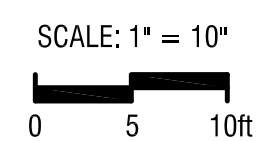


SECTION B



KEY PLAN

NOTE: ALL ELEVATIONS FROM ASSUMED 0'-0" DATUM AT GROUND LEVEL (+14.6' ACTUAL)



## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
OVERALL BUILDING SECTIONS

SHEET NO.

### A601

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017



## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
RENDERING  
WEST

SHEET NO.  
**PV01**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCOE ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017



## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER

17377

DATE

DECEMBER 2, 2015

ISSUE

ENTITLEMENT SUBMITTAL

SHEET TITLE

RENDERING  
NORTHWEST

SHEET NO.

**PV03**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCO ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017



## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER  
17377  
DATE  
DECEMBER 2, 2015  
ISSUE  
ENTITLEMENT SUBMITTAL  
SHEET TITLE  
RENDERING  
SOUTHWEST

SHEET NO.  
**PV02**

**OWNER**  
STRAND & PIER HOLDING CO. LLC  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**DEVELOPER**  
BOLOUR ASSOCIATES, INC.  
8383 WILSHIRE BLVD, SUITE 920  
BEVERLY HILLS, CA 90211

**ARCHITECT**  
HKS ARCHITECTS, INC.  
539 BRYANT STREET, SUITE 100  
SAN FRANCISCO, CA 94107

**STRUCTURAL ENGINEER**  
ENGLERKIRK STRUCTURAL ENGINEERS  
888 S. FIGUEROA ST. 18TH FLOOR  
LOS ANGELES, CA 90017

**MEP**  
GLUMAC ENGINEERS  
18200 VON KARMEN AVE - SUITE 100  
IRVINE, CA 92612

**LANDSCAPE ARCHITECT**  
AHBE  
617 WEST 7TH STREET - SUITE 304  
LOS ANGELES, CA 90017

**HOTEL OPERATOR**  
PROVENANCE HOTELS  
U.S. BANCORP TOWER  
111 SW 5TH AVE - SUITE 1001  
PORTLAND, OR 97205

**LAND-USE CONSULTANT**  
THREE6IXTY  
4309 OVERLAND AVENUE  
CULVER CITY, CA 90230

**CIVIL ENGINEER CONSULTANT**  
FUSCO ENGINEERING  
600 WILSHIRE BLVD, SUITE 1470  
LOS ANGELES, CA 90017



## STRAND & PIER HOTEL HERMOSA BEACH

HKS PROJECT NUMBER

17377

DATE

DECEMBER 2, 2015

ISSUE

ENTITLEMENT SUBMITTAL

SHEET TITLE

RENDERING  
COURTYARD

SHEET NO.

**PV04**