



**PLAN SUBMITTAL REQUIREMENTS FOR RESIDENTIAL AND COMMERCIAL PROJECTS**

**SUBMIT PROJECTS TO THE COMMUNITY DEVELOPMENT DEPARTMENT, PLANNING DIVISION**

**IMPORTANT NOTICE:** COMPLETE AND ACCURATE PLAN SUBMITTALS ARE REQUIRED. SOME ITEMS NOTED BELOW MAY BE WAIVED BY THE CITY FOR CERTAIN PROJECTS. IF YOU HAVE QUESTIONS IF ALL THE DATA NOTED BELOW WILL BE NECESSARY, CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT STAFF AT (310) 318-0242, MONDAY – THURSDAY, 7:00 AM – 6:00 PM.

All applications must be reviewed by a Planner via [planning@hermosabeach.gov](mailto:planning@hermosabeach.gov) to determine if the application requirements listed are provided and whether the application is acceptable to conduct a plan review. If the application is missing required information, then the application will not be accepted for intake. The Planning Division will review architectural plans for compliance with the City Municipal Code and may request additional information as required.

City staff will conduct site visits for all projects. In addition, for Accessory Dwelling Units (ADUs) and Junior Accessory Dwelling Units (JADUs) city staff will schedule an interior inspection and site visit shortly after receiving a completed application.

- A. **COMPLETED BUILDING PERMIT APPLICATION FORM.** This must include the property owner's name, phone number and email address. All applications can be found here: <https://www.hermosabeach.gov/our-government/community-development/applications-forms-handouts>
- B. **CIVIL ENGINEERING PLANS:** Construction of: (a) any commercial or industrial building or residential dwelling structure, or addition thereto, exceeding four hundred (400) square feet in floor area, or (b) any accessory building greater than fifty percent (50%) of the square footage of the existing main building, shall submit Civil Engineered plans at time of initial plan submittal. Please consult with the [Public Works Civil Sheet \(C-Sheet\) Plan Submittal Checklist](#) and submit these items as a separate, single PDF file to [communitydevelopment@hermosabeach.gov](mailto:communitydevelopment@hermosabeach.gov) when you submit your building permit application and fees have been paid. Please note that fees for C-Sheets are calculated separate from the Building Permit fees and will be collected at the same time as Building Permit fees.
- C. **COMPLETED WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) DETERMINATION FORM.** All projects are required to fill out the [WELO Determination Form](#), regardless of whether the project is proposing landscaping.
- D. **ONE (1) SET OF ARCHITECTURAL PLANS (24" x 36" size).** Additional plan sets and sizes may be required after plans have been fully reviewed.
  1. **Topographical Lot Survey OR Lot line Survey.** Include a copy of the survey in the plan set and submit the original wet stamped survey folded to approximately 8 ½" x 11" separate from the plans. **Please contact a Planner at [planning@hermosabeach.gov](mailto:planning@hermosabeach.gov) to determine what type of survey is required based on the entire scope of work.**
    - a. **One (1) copy of Topographical Lot Survey** showing all existing improvements, adjacent sidewalk, curb, street improvements, provide property corner elevations, identify property corner elevations as XX.XX P.C., provide lot dimensions, and adjacent property elevations. Survey must be wet stamped and signed by a Civil Engineer or licensed Land Surveyor. (Topographical lot survey shall be recent, but no more than a year old.) OR
    - b. **One (1) copy of Lot Line Survey** showing all existing habitable and non-habitable structures, dimensions from all existing habitable and non-habitable structures to the property lines and lot line dimensions. Survey must be wet stamped and signed by a Civil Engineer or licensed Land Surveyor. (Lot line survey shall be recent, but no more than a year old.)
  2. **CD with a single file PDF of the Architectural Plans, Topographical/Lot line Survey (if applicable) and site photos. The title of the document MUST include the property address. THIS IS REQUIRED FOR ALL INITIAL SUBMITTALS AND RESUBMITTALS.**



3. **A detailed project description/ scope of work must be provided on the cover sheet.**
4. **A fully completed Project Summary Table must be provided on the cover sheet for all projects (See Handout Below). Basement Qualification Calculations are only required for projects proposing two stories and a basement.**
5. **Site photos of all sides of all structures on the property, yards, parking areas and site surroundings.**

6. **Existing and Proposed Full Site Plan must include all of the following:**

<p>North arrow</p> <p>Scale</p> <p>Street/alley names</p> <p>Property lines with lot dimensions consistent with lot survey</p> <p>Property corner elevations consistent with lot survey labeled PCXX.XX</p> <p>Building dimensions</p> <p>All existing, required and proposed setbacks to all structures</p> <p>Parking stall vehicle symbols</p> <p>Parking space dimensions (clear space)</p> <p>Turning area measured from garage door face to back of alley or street (or to street parking space)</p> <p>Lot coverage diagram (may be required based on complexity of project)</p>	<p>Curb cuts with dimensions (including both sides of the street and/or alley)</p> <p>On-street parking plan with dimensions (consult with Public Works Department)</p> <p>Driveway slope profiles and percentages*/ 3 profiles required if slope is greater than 5%</p> <p>Open space areas with dimensions, square footages and percentage of areas covered</p> <p>All fence and wall (heights and materials)</p> <p>Trash enclosure to fit 3 bins size 2.5'x2.5' per bin (single-family)</p> <p>Mechanical equipment (such as AC units, pool equipment, etc.)</p> <p>Meters (water, gas, electrical etc.) must not encroach into required setbacks</p>	<p>Yard and landscape elements such as water features, BBQs, planters, benches, sheds, trellis, etc.</p> <p>Dimensions, vertical clearance and square footage of storage areas (for condos only)</p> <p>Dimensions of eave overhangs and dimension from eave facia to property lines</p> <p>Solid waste disposal facilities for commercial projects</p> <p>Finished floor elevations</p> <p>Existing and finished grade elevation notations:  <i>Property Corner (P.C.)</i>  <i>Top of Curb (T.C.)</i>  <i>Back of Walk (B.W.)</i>  <i>Top of Wall (T.O.W.)</i>  <i>Bottom of Wall (B.O.W.)</i>  <i>Finished Grade, Surface, Floor, and Garage (F.G.) (F.S.) (F.F.) (F.Gar.)</i></p>
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7. **Existing and Proposed Full Floor Plans must include all of the following:**

<p>North arrow</p> <p>Scale</p> <p>Street/alley names</p> <p>Property lines with lot dimensions consistent with lot survey</p> <p>Property corner elevations consistent with lot survey labeled PCXX.XX</p> <p>Building dimensions</p> <p>Demolition plan with wall legend</p> <p>All existing, required and proposed setbacks to all structures</p>	<p>Open space areas with dimensions, square footages and percentage of areas covered</p> <p>Parking stall vehicle symbols</p> <p>Parking space dimensions (clear space) from garage door face and inside of walls</p> <p>Stairways (new or modified stairways must meet the definition of dwelling unit provided in HBMC Section 17.04)</p> <p>Garage door opening width(s) and height(s)</p>	<p>Storage areas (for condos only)</p> <p>Dimensions of eave overhangs and dimension from eave facia to property lines</p> <p>Finished floor elevations</p> <p>Identification and dimensions of all rooms</p> <p>Include all fixtures such as kitchen appliances kitchen sink with garbage disposal vs. wet bar sink, under counter fridge and restroom fixtures</p>
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**Existing floor plans are required for additions, remodels, and Accessory Dwelling Units (ADUs) and must include ALL of the information requested above.**



8. Existing and Proposed Full Roof Plans must include all of the following:

- |   |  |  |
|---|--|--|
| North arrow   | Building dimensions  | Chimney, fireplace, vent/flue manufacture specifications   |
| Scale   | Dimensions of eave overhangs and dimension from eave fascia to property lines  | Roof slopes  |
| Street/alley names  | Critical point maximum allowed/proposed elevations   | Include roof deck BBQs, spas, furnishings, planters and plantings which must comply with the height limit (specifications may be required) |
| Property lines with lot dimensions consistent with lot survey         | Dimensions (width and depth) of architectural encroachments projecting into required setbacks and distances to property lines. |  |
| Property corner elevations consistent with lot survey labeled PCXX.XX |  |  |
| All existing, required and proposed setbacks to all structures        |  |  |

9. Existing and Proposed Full Elevations must include all of the following:

- |  |   |   |
|--|---|---|
| Scale  | Straight line interpolated grade between property corners                     | Finished grade  |
| Views of all sides of all structures with building elevation (north, east, south, west) identified | Height profile lines to show existing and proposed wall and fence heights     | Finished floor elevations   |
| Property lines with lot dimensions consistent with lot survey                                      | Garage door opening width(s) and height(s)                                    | Existing, proposed and maximum roof elevations at critical points |
| Property corner elevations consistent with lot survey labeled PCXX.XX                              | Vertical clearance from driveway surface to projections and cantilevers above |   |

10. Landscape Plan must include all of the following:

- |   |  |  |
|---|--|--|
| Scale   | All fence and wall (heights and materials)   | Existing trees with trunk diameter (specify any trees proposed to be removed)    |
| North arrow   | Driveways and paths  | Landscape and hardscape legend   |
| Property lines with lot dimensions consistent with lot survey         | Mechanical equipment (such as AC units, pool equipment, etc.)  | Plant common and botanical names   |
| Property corner elevations consistent with lot survey labeled PCXX.XX | Yard and landscape elements such as water features, pools, spas, BBQs, planters, benches, sheds, trellis, etc. | Plant symbols  |
| Building footprint with square footage and building dimensions        | Hardscape, landscape and permeable areas (materials, dimensions and square footage of each)                    | Plant sizes  |
| All existing, required and proposed setbacks to all structures        |  | Plant water usage  |
|   |  | Automatic irrigations system and specifications required for all landscape areas |

Attachments:

1. Project Summary and Basement Qualification Calculation
2. Example Site Plan
3. Example of Roof Plan with Critical Point Information
4. Example Landscape Plan
5. WELO Determination Form
6. Civil Sheet Checklist
7. Civil Engineering Submittal for Driveway Slope
8. Plan Check Flow Chart

**PROJECT SUMMARY**

**PROJECT LOCATION:** \_\_\_\_\_

**LEGAL DESCRIPTION:** \_\_\_\_\_

**ASSESSOR PARCEL NO.:** \_\_\_\_\_

**ZONING:** \_\_\_\_\_

**SCOPE OF WORK:**                      **PLEASE SELECT ALL APPLICABLE AREAS OF WORK:**

<input type="checkbox"/>	NEW SINGLE-FAMILY	<input type="checkbox"/>	PATIO COVER
<input type="checkbox"/>	ADDITION	<input type="checkbox"/>	TRELLIS
<input type="checkbox"/>	ACCESSORY DWELLING UNIT	<input type="checkbox"/>	POOL/SPA
<input type="checkbox"/>	REMODEL	<input type="checkbox"/>	STORAGE UNIT
<input type="checkbox"/>	EXTERIOR MODIFICATIONS	<input type="checkbox"/>	SHED
<input type="checkbox"/>	ROOF MODIFICATIONS	<input type="checkbox"/>	MECHANICAL EQUIPMENT (A/C, WATER HEATER)
<input type="checkbox"/>	DRIVEWAY MODIFICATIONS	<input type="checkbox"/>	UTILITY METERS (WATER, GAS ETC.)
<input type="checkbox"/>	OTHER:		

**Description:**

\_\_\_\_\_

\_\_\_\_\_

**GENERAL BUILDING INFORMATION** (NOTE: FOR ADDITION AND REMODEL PROJECTS, PLEASE PROVIDE INFORMATION FOR EXISTING AREA AND ADDED AREA.)

	<b>EXISTING</b>	<b>PROPOSED</b>
GARAGE (INTERIOR DIMENSIONS)		
1ST LEVEL LIVING AREA		
2ND LEVEL LIVING AREA		
DECKS/BALCONIES		
3RD LEVEL LIVING AREA		
DECKS/BALCONIES		
<b>TOTAL LIVING AREA</b>		
<b>TOTAL DECKS/BALCONIES</b>		
NO. OF BEDROOMS		
NO. OF BATHROOMS		

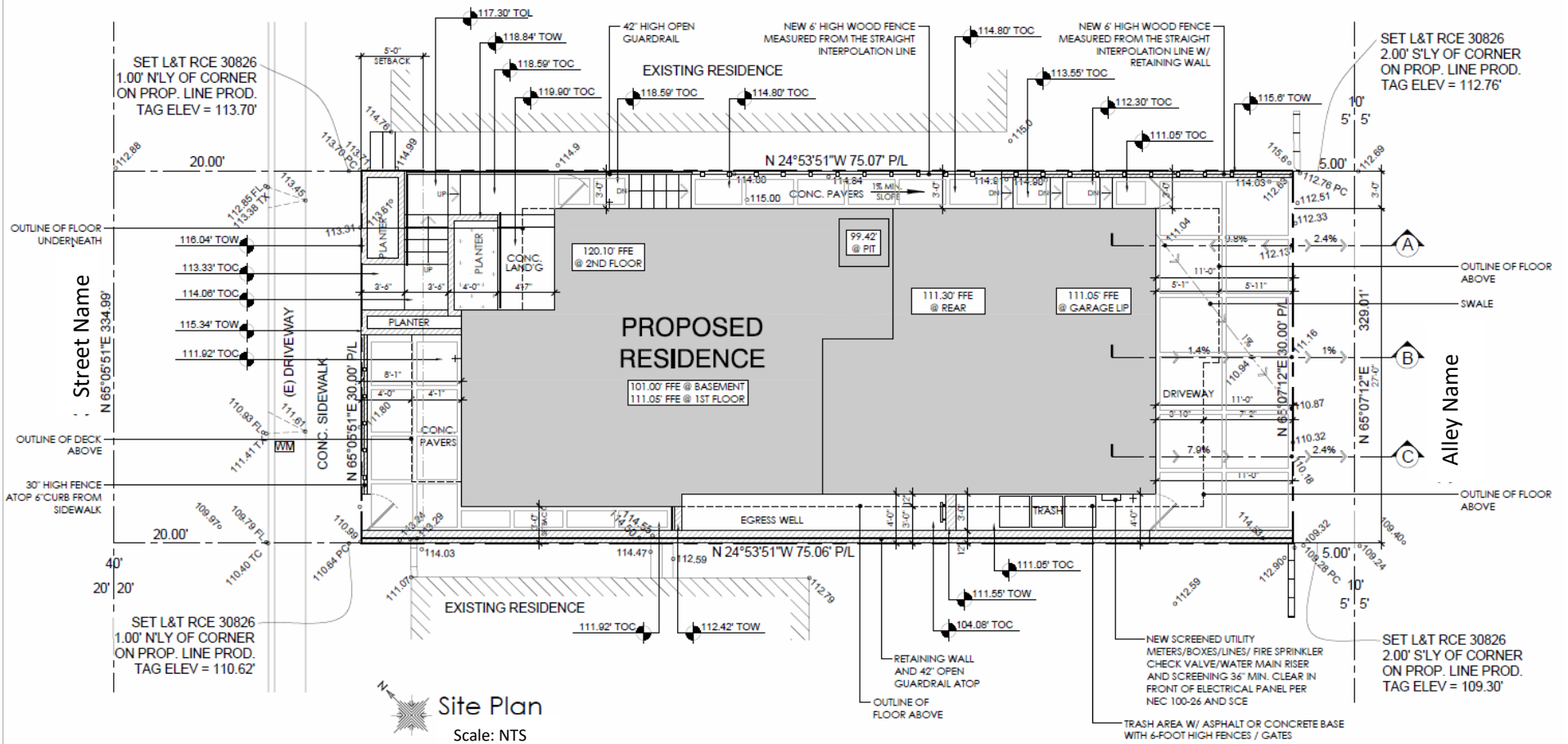
**ZONING INFORMATION**

	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>
<b>AREA:</b>			
LOT AREA (sq ft)			
LOT COVERAGE (%)			
<b>YARDS:</b>			
FRONT			
SIDE			
REAR			
<b>PARKING AND DRIVEWAYS:</b>			
NUMBER OF SPACES			
GUEST SPACES			
PARKING SETBACK			
PARKING STALL DIMENSION			
TURNING AREA			
DRIVEWAY WIDTH			
DRIVEWAY MAXIMUM SLOPE			
<b>OPEN SPACE:</b>			
ON GRADE			
DECKS/BALCONIES			
TOTAL			

**BASEMENT QUALIFICATION CALCULATION**  
**(REQUIRED FOR ALL PROJECTS PROPOSING TWO STORIES AND BASEMENT)**

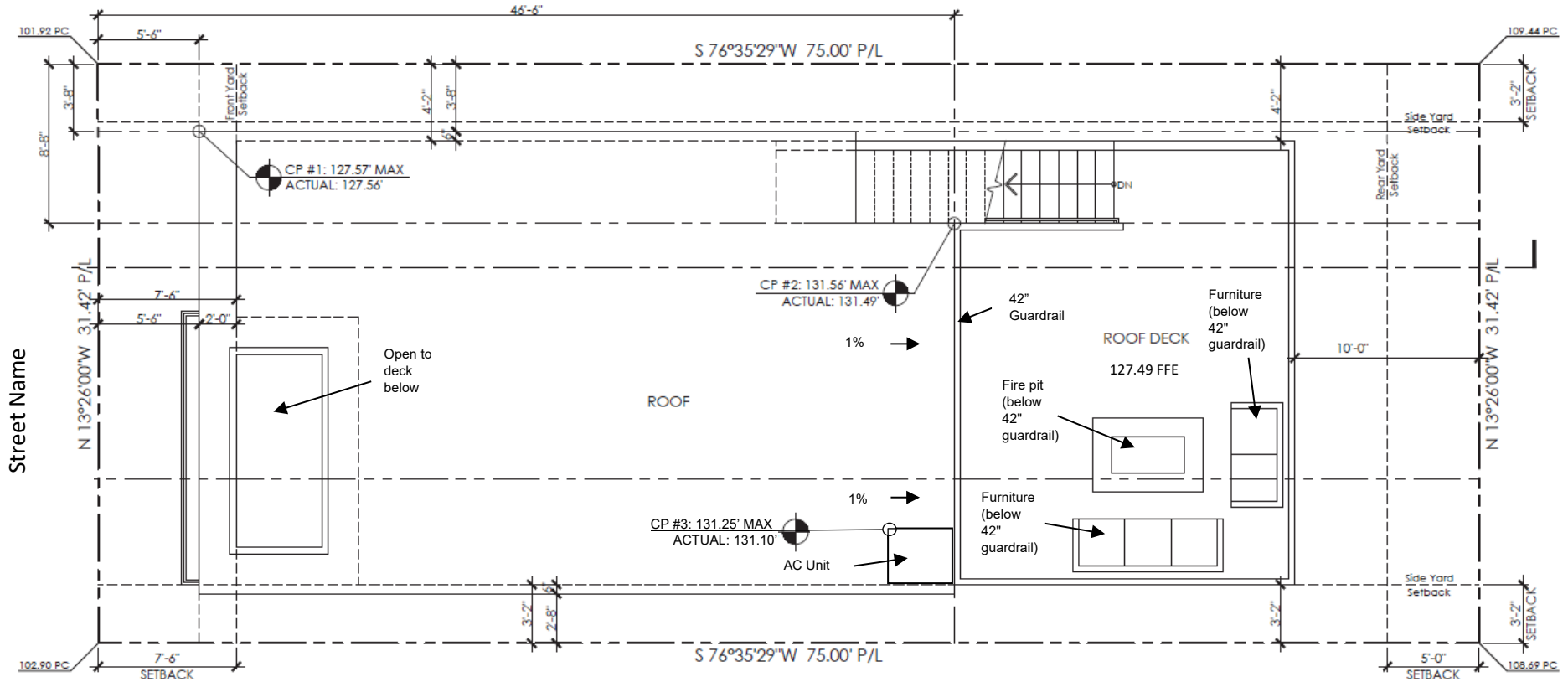
1ST LEVEL F.F. ELEVATION	
LINEAL FEET (LF) OF PERIMETER	
LF OF PERIMETER <6' FROM GRADE TO F.F. ABOVE	
% OF PERIMETER < 6' to FF ABOVE	

# Example Site Plan



CONDUIT WILL BE PROVIDED FROM THE ROOF TO THE ELECTRIC SERVICE PANEL TO ACCOMMODATE FOR FUTURE SOLAR INSTALLATION(S) PURSUANT TO HBMC SECTION 15.32.140.

## Example of Roof Plan with Critical Point Information



### ROOF PLAN

Scale: NTS

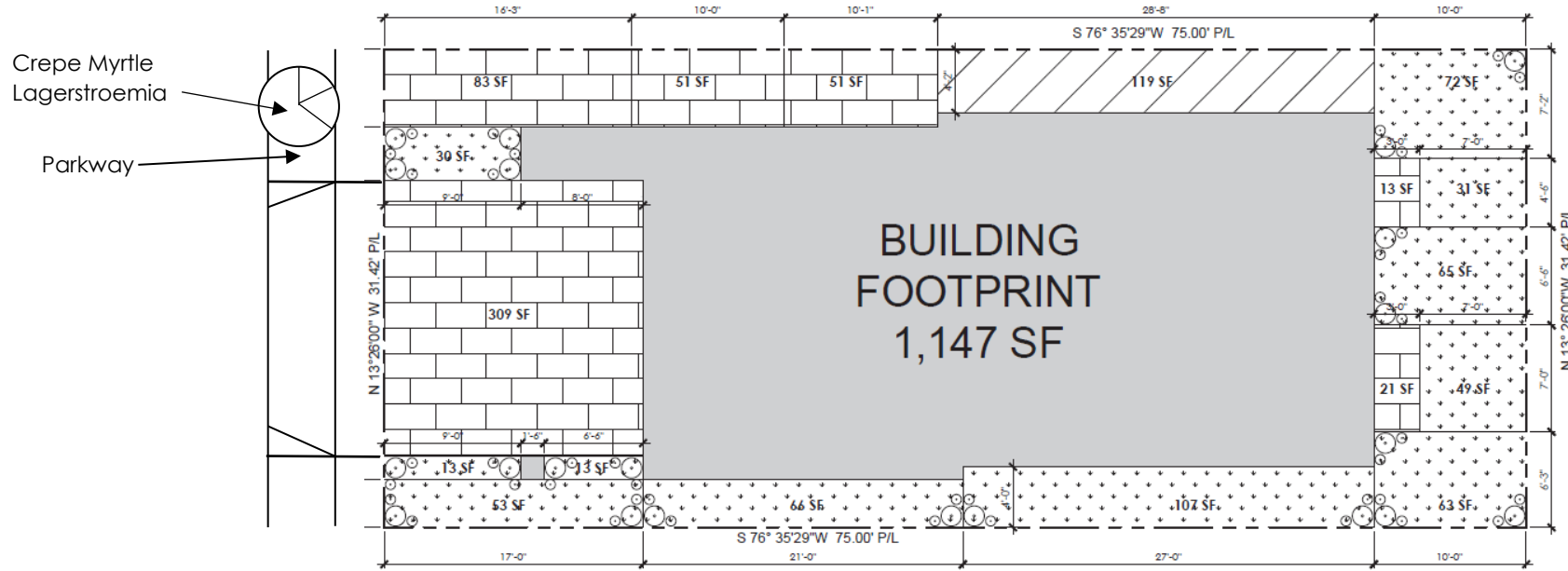
Note:

- Pursuant to Hermosa Beach Municipal Code Section 17.46.010 B, residential uses may have chimneys, vents and flues exceed the height limit only to the extent required to meet the California Building Code requirements. If the chimneys, vents and flues exceed the height limit, please attach manufacture specification on the plans.

## Example Landscape Plan

### City of Hermosa Beach Landscaping Requirements

#### Hermosa Beach Municipal Code (HBMC) Sections 8.60 and 8.44



Symbol:	Vegetation Type:	Botanical Name:	Common Name:	Regional Eval. Water Needs:	Size:	Diameter (planting/matured):	Height (planting/matured):	Quantity:
	TREE	ACACIA CULTRIFORMIS	KNIFELEAF ACACIA	LOW	24X24 BOX	3" TO 8" Ø	10'-0" TO 15'-0"	0
	FLOWER	GALVEZIA SPECIOSA FIRECRACKER	ISLAND SNAPDRAGON	VERY LOW	5 GALLON	3'-0" WIDE	2'-0" TO 3'-0"	20
	SHRUB	EURYOPS PECTINATUS	EURYOPS/SHRUB DAISY	LOW	5 GALLON	MASS PLANTING (3-4 FT APART)	9"-12"	40

**Lot square Footage:** 2,356 sq. ft.  
**Building Footprint:** 1,147 sq. ft.  
**Driveway:** 309 sq. ft.  
**Total Exterior Surface Area**=Lot Sq. Ft - Building Footprint  
 =2,356 sq. ft. - 1,147 sq. ft.

**Maximum 20% of landscaped area may be used for high water use landscape (turf and plants) as listed in the Water Use Classification for Landscape Species (WUCOLS)**

562 sq. ft. (landscaped areas) x 20% (max high water use)  
 Max high water use =112.4 sq. ft.  
 =0 sq. ft. proposed <112.4 sq. ft.

Minimum 50% of exterior surface area must consist of water permeable surfaces as required in HBMC.

Permeable Areas: 681 sq. ft.  
 Nonpermeable Areas: 528 sq. ft.

Permeable Areas 681 sq. ft./ 1,209 sq. ft. = 56% permeable

**LANDSCAPE PLAN**  
 SCALE: NTS

Water Permeable Surface Area(s)

- Permeable areas (119 sq. ft.)  
Permeable Pavers
- Landscaped areas (562 sq. ft.)

Impervious Surface Area(s)

- Hardscape areas (528 sq. ft.)  
Nonpermeable Concrete





**City of Hermosa Beach**

Community Development Department | Building Division

1315 Valley Drive, Hermosa Beach, CA 90254

o: 310-318-0219 e: [brollins@hermosabeach.gov](mailto:brollins@hermosabeach.gov)

**Office Hours:** Monday – Thursday 7:00 AM – 6:00 PM

**Water Efficient Landscape Ordinance (WELO) Determination**

Applicant Information	
Applicant Name:	
Telephone Number:	Email Address:
Applicant Address:	

Project Information	
Project Name:	
Project Address:	
Project Type (Residential, Commercial, Rehabilitated):	
<b>Check One:</b>	
<input type="checkbox"/> Currently, this project does not include landscaping. I am aware that future landscape installations may be required to comply with the Model Water Efficient Landscape Ordinance (MWELo) requirements per California Code of Regulations, Title 23, Division 2, Chapter 2.7.	
<input type="checkbox"/> This project does incorporate landscaping. (Please provide the information below specific to the landscape area which will be completed as part of this project and specify the compliance method to be used).	
Total Landscape Area (square feet):	Turf Area (square feet):
Non-Turf Plan Area (square feet):	Special Landscape Area (square feet):
Water Type (potable, recycled, well):	

Compliance Method	
<input type="checkbox"/>	<b>Performance Method</b> for landscape projects between 500 and 2,499 square feet.
<input type="checkbox"/>	<b>Prescriptive Method</b> for landscape projects between 500 and 2,499 square feet
<input type="checkbox"/>	<b>Prescriptive Method</b> for landscape projects greater than 2,499 square feet (items included in Prescriptive Checklist are included on plans)

Signature	
"I certify the above information is correct and agree to comply with the requirements of the MWELo."	
Signature of Property Owner or Authorized Representative	Date

**PUBLIC WORKS CIVIL SHEET (C-SHEET)**

**PLAN SUBMITTAL CHECKLIST**

Date Submitted: \_\_\_\_\_ Permit #: B \_\_\_\_\_

Project Address: \_\_\_\_\_

Point of Contact: \_\_\_\_\_

Phone No: \_\_\_\_\_ Email: \_\_\_\_\_

<b>DOCUMENTS SUBMITTED</b>	
<b>Digital file of all of the following items:</b>	
(1) <b>24" x 36"</b> Signed Copies C-Sheets at submittal. (4) wet signed & stamped copies will be due at Final Approval	
(1) <b>24" x 36"</b> Erosion Control Plan and Best Management Practices Statement	
(1) <b>11" x 17"</b> Full Set Project Plans (including Architectural drawings)	
(1) Copy of Parcel Map (subdivisions) - Applies to new Condo projects	
(1) Copy of LID Report, Covenant and Agreement, and Owners Certification Statement	
(1) Soils Report – Including Percolation Test	
(1) Survey and Current Title Report within last 6 months	
(1) Copy of Planning Commission Conditions of Approval - Applies to new Condo projects	
(1) Tree Permit Application (if applicable)	
(1) Residential Encroachment Application (if applicable)	
(1) Current Sewer Lateral Conditions Video (CD only)	
(1) Assumption of Risk form (When Applicable - Home FF Below Street Level): It is the owner's responsibility to record document prior to Final Approval of C-Sheet plan check review	
Payment Received- \$1,212 (for Condominium: Plus \$201 per additional unit up to 4, Additional fees applies for more than 4 units) PLUS 7% TECH FEE	

\*If you have any questions regarding C-Sheet review process, please contact the Public Works Department directly. (310) 318-0214

PUBLIC WORKS PROJECT MANAGER \_\_\_\_\_



**PLAN SUBMITTAL FOR DRIVEWAY SLOPES:  
NEW RESIDENTIAL, COMMERCIAL, OR INDUSTRIAL PROJECTS, AND  
ALL PROJECTS WITH NEW GARAGES AND DRIVEWAYS**

The City of Hermosa Beach requires that driveway slopes not exceed 12.5% from the back-of-sidewalk to the garage face, and 2% from back of existing or future public improvements (curb, gutter, and sidewalk). Plans are rejected if the driveway exceeds the slope maximum allowed by Municipal Code Section 17.44.120(D).

Civil Plans for Improvements of 400 Square Feet or Greater<sup>1</sup>:

All proposed driveway alterations and/or additions and remodels that are equal to or exceed 400 square feet submit civil engineered plans. Civil engineered plans shall be prepared, signed, and stamped by a Civil Engineer licensed in the State of California and include:

- Elevation at street flow line
- Elevation at back of walk
- Elevation of flow line a minimum of fifty feet (50') on either side of property
- Elevation at garage face
- All on site drainage, including sump pumps
- Elevation of top of curb
- Elevation at center of street
- Elevation at driveway center at centerline
- Specify precise slope for driveway
- Elevation at trench drain
- Location of all new and existing underground utilities (New sewer laterals shall include invert elevations at the property line and at the connection to the main)

No driveway approach shall be constructed less than two feet (2') from edge of driveway apron (please refer to attachment) to any obstruction including power poles for residential and four feet (4') for commercial.

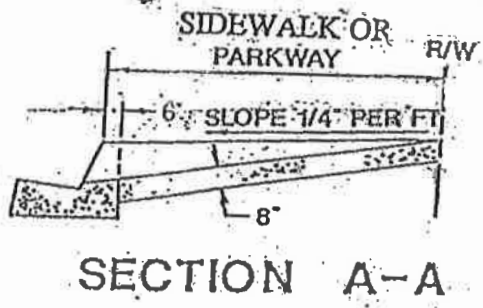
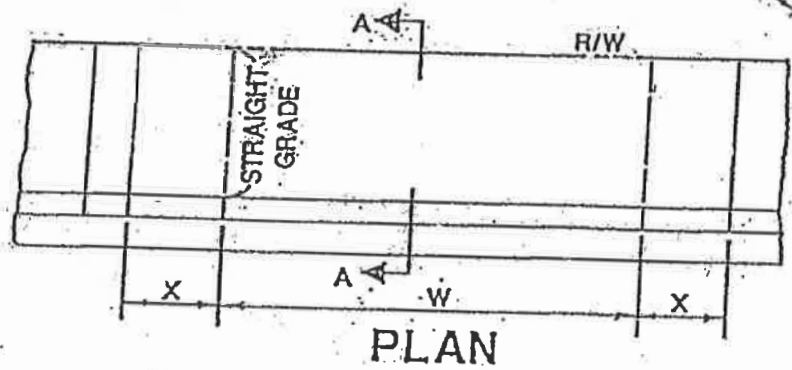
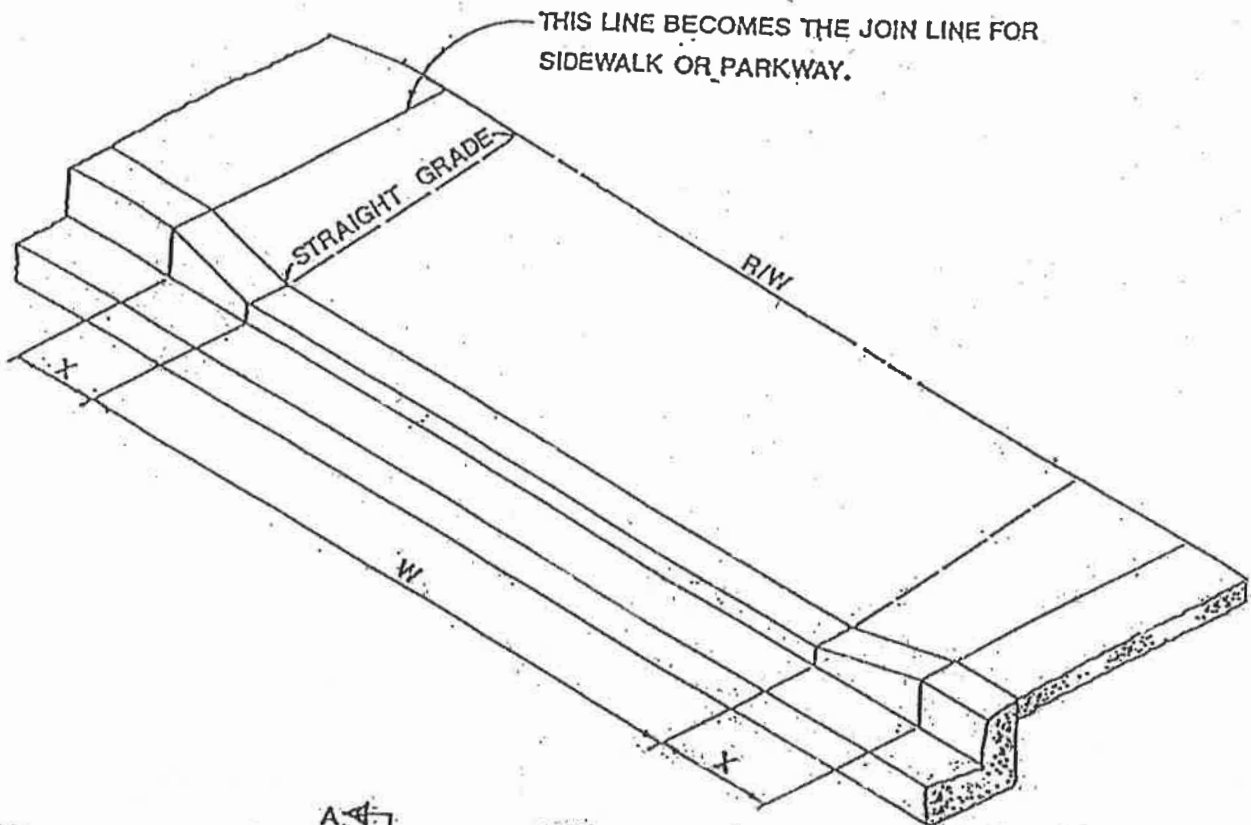
Plan Submittal for Driveways with Slope of 5% or Greater:

To ensure continuous vehicular access from the garage or parking space to the Public Right-of-Way, Plan submittal for driveways that have a straight grade of 5% or greater measured from the parking space or garage floor to the back of sidewalk (which is a minimum of 7-inches above flow-line at curb) shall include the following:

- Design profiles for the new or modified driveway at each edge and driveway centerline.
- These profiles shall run from centerline of the street to the parking space or garage floor slab, with elevations shown at not more than 5-foot intervals.
- The profiles shall show any overhead beam or obstruction (e.g., cantilevered second floor, architectural feature) demonstrating a minimum 7-foot vertical clearance.
- The licensed professional shall certify on the plans that the design vertical curve profiles are "drivable" using a design template for a standard vehicle.

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<sup>1</sup> Additions/remodels that are equal to or exceed 400 square feet that have no impact on the existing driveway maybe exempted from the stamped Civil Engineer requirement, with Public Works Department approval.



Notes:

1. W = 20 to 30 ft. maximum width unless otherwise approved by the Dept. of Public Works.
2. X = 4 ft.
3. No obstructions within 4 ft. of top of "X".

REVISIONS	CITY OF HERMOSA BEACH		STANDARD PLAN NO. 103
	DEPARTMENT OF PUBLIC WORKS		
	COMMERCIAL DRIVEWAY		
	APPROVED BY: _____	DATE: _____	SHEET 1 of 1
	CITY ENGINEER R.E. NO. _____		