

Appendix B

Complete Project Plans



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Skechers
2901 Pacific Coast Highway
Hermosa Beach, CA 90254

PHOTO MONTAGE - SKECHERS
NORTH FROM KEATS STREET



REVISION	NO.
-	10/15/2014
-	02/01/2016

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REVISION	NO.
-	10/15/2014
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ABBREVIATIONS	
A/C	AIR CONDITIONING
A.C.	ASPHALTIC CONCRETE
	PAVING
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
C.L.	CENTER LINE
CLG.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY
	UNIT
COL.	COLUIMN
CONC.	CONCRETE
CONC. BLK.	CONCRETE BLOCK
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.S.	DOWN SPOUT
DTL	DETAIL
DWG.	DRAWING
EA.	EACH
ELEC.	ELECTRIC
ELEV.	ELEVATION
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXT.	EXTERIOR
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FP.	FIREPLACE
FT.	FEET
FTG.	FOOTING
G.	GAS
GA.	GAUGE
GALV.	GALVANIZE
GL.	GLASS
GYP.	GYPSUM
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HD.	HEAD
HT.	HEIGHT
H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING
	HOT WATER
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M/C	MEDICINE CABINET
MECH.	MECHANICAL
MFGR.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
N.G.	NATURAL GRADE
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
P.	PLANTING AREA
P.C.	PRE-CAST CONCRETE
P.P.	POWER POLE
PLATE	PLATE
P.L.	PROPERTY LINE
PLYWD.	PLYWOOD
PLMB.	PLUMBING
PR.	PAIR
PT.	PAINT
R.	RISER
R.A.	RETURN AIR
RAD.	RADIUS
R.D.	ROOF DRAIN
RECP.	RECEPTACLE
REF.	REFRIGERATOR
REINF.	REINFORCED
REQD.	REQUIRED
REV.	REVISION
RF.	ROOF
RM.	ROOM
R.O.	ROUGH OPENING
S.A.	SUPPLY AIR
S.C.	SOLID CORE
S.D.	STORM DRAIN
S.F.	SQUARE FEET
SHTG.	SHEATHING
SHT. MTL.	SHEET METAL
SIM.	SIMILAR
S/S	STAINLESS STEEL
STL.	STEEL
STR.	STRUCTURAL
SUBFLR.	SUB-FLOOR
SUSP.	SUSPENDED
T.	TREAD
T & G	TONGUE AND GROOVE
THK.	THICK
T.O.	TOP OF
TYP.	TYPICAL
U.G.	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE
UNF.	UNFINISHED
W.	WATER
W/W	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
W.I.	WROUGHT IRON
W/O	WITHOUT
W.O.	WHERE OCCURS
W.P.	WATER PROOF
W.W.M.	WELDED WIRE MESH

SYMBOLS LEGEND

SYMBOL	DESCRIPTION
(E)	EXISTING CONDITION
(D)	CONDITION TO BE DEMOLISHED
(N)	NEW CONDITION
	ELEVATION LOCATION
	EXISTING CONTOUR LINE
	NEW CONTOUR LINE
	MATCH LINE, SHADED PORTION SIDE SHOWN
	LEVEL LINE, CONTROL POINT OR DATUM
	PROPERTY LINE, BOUNDARY LINES
	CENTER LINE, EXTERIOR ELEVATION LINES
	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
	OUTLINE OF HIDDEN OBJECTS BELOW
	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION
	REFERENCE DRAWING NUMBER
	DETAIL NUMBER
	REFERENCE DRAWING NUMBER
	WALL SECTION
	REFERENCE DRAWING NUMBER
	ELEVATION NUMBER
	REFERENCE DRAWING NUMBER
	DOOR NUMBER
	WALL REFERENCE
	WINDOW NUMBER
	MATERIAL REFERENCE
	COLOR REFERENCE
	EQUIPMENT NUMBER
	REVISION
	PROJECT NORTH (MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
	REFERENCE GRIDS

STRUCTURAL OBSERVATIONS

THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION AS DEFINED INT HE 2010 CBC, SECTION 220. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES, WHICH, TO THE BEST OF THE STRUCTURAL OBSERVERS KNOWLEDGE, HAVE NOT BEEN RESOLVED.

STRUCTURAL OBSERVATION IS REQUIRED FOR BOTH SHORING AND THE BUILDING.

PROJECT DIRECTORY	
OWNER: SEPALVEDA BOULEVARD PROPERTIES, LLC (SKECHERS USA) 228 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA 90266 CONTACT: TIM BALL TEL: (310) 318-3100 x 1488	
ARCHITECT: DFH ARCHITECTS, AIA 1544 20TH STREET SANTA MONICA, CA 90404 TEL: (310) 394-4045 FAX: (310) 968-8658	LANDSCAPE: BENNETT DESIGN GROUP 4609 E. ANAHEIM STREET SUITE B LONG BEACH, CA 90804 TEL: (562) 597-2221
CIVIL: KREUZER CONSULTING GROUP 320 MAIN STREET UNIT D SEAL BEACH, CA 90740 TEL: (714) 656-0160	STRUCTURAL: ENGLERKIRK STRUCTURAL ENGINEERS C/O LAWRENCE HO 2116 ARLINGTON AVENUE LOS ANGELES, CA 90018 TEL: (323) 773-8873 FAX: (323) 773-8882
STRUCTURAL OBSERVATIONS	
THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION AS DEFINED INT HE 2010 CBC, SECTION 220. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES, WHICH, TO THE BEST OF THE STRUCTURAL OBSERVERS KNOWLEDGE, HAVE NOT BEEN RESOLVED.	
STRUCTURAL OBSERVATION IS REQUIRED FOR BOTH SHORING AND THE BUILDING.	
CODES & AGENCIES	
1. THIS PROJECT SHALL COMPLY WITH TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE 2013 CALIFORNIA BUILDING CODE (CBC) 2013 CALIFORNIA MECHANICAL CODE (CMC) 2013 CALIFORNIA PLUMBING CODE (CPC) 2013 CALIFORNIA ELECTRICAL CODE (CEC) 2013 CALIFORNIA ENERGY CODE (CENC) 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)	
ACCESSIBILITY CODE SAFE HARBORS: FHA DM 1998 w/ ANSI 2003 / 2010 ADA STANDARDS	
2. ALL WORK SHALL COMPLY WITH THE FOLLOWING CITY OF HERMOSA BEACH REGULATIONS, CODES AND AUTHORITIES: A. BUILDING & SAFETY DEPT. B. PLANNING & ZONING DEPT. C. FIRE DEPT. D. PUBLIC WORKS DEPT. E. ENGINEERING DEPT. F. RECREATION & PARKS DEPT.	

DEFERRED SUBMITTALS

SEPARATE APPS, PLAN CHECK AND PERMITS WILL BE SUBMITTED FOR:

- FIRE PROTECTION SPRINKLER SYSTEM
- FIRE ALARM DESIGN SYSTEM

FIRE PROTECTION:

AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLATION SHALL CONFORM TO 2010 CBC STANDARDS; CHAPTER 9 & THE CALIFORNIA FIRE CODE WHERE APPLICABLE

PROJECT SUMMARY	
DESIGN CENTER	
PROJECT ADDRESS:	2901 PACIFIC COAST HIGHWAY HERMOSA BEACH, CA 90254
PROJECT DESCRIPTION:	APN: 4169-034-020 & 4169-034-021 NEW TYPE II-A THREE STORY OFFICE BUILDING ABOVE THREE LEVELS OF TYPE I-A SUBTERRANEAN PARKING GARAGE
LEGAL DESCRIPTION:	APN: 4169-034-020 & 021 PARCEL 1: THE NORTHERLY 250 FEET OF THE EASTERLY 160 FEET OF LOT "A" OF TRACT NO. 1954, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22 PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY SAID LAND BEING SHOWN ON THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED MARCH 24, 2008 AS INSTRUMENT NO. 20080499808 OF OFFICIAL RECORDS. PARCEL 2: THAT PORTION OF LOT "A" OF TRACT NO. 1954, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22 PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT "A"; THENCE ALONG THE NORTHERLY LINE OF SAID LOT, NORTH 89 56'30" WEST 180.55 FEET TO THE NORTHEASTERLY CORNER OF LOT 24 OF TRACT NO 15243, AS PER MAP RECORDED IN BOOK 379 PAGES 10 AND 11 OF MAPS, RECORDS OF SAID COUNTY; THENCE ALONG THE EASTERLY LINES OF PLOTS 24, 23, 22 AND 21 OF SAID TRACT NO. 15243, SOUTH 0 15'50" WEST 342.50 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 21; THENCE ALONG THE NORTHERLY LINE OF LOT 19 OF SAID TRACT NO. 15243, SOUTH 89 56'30" EAST 20.05 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 19; THENCE SOUTH 89 44'10" EAST 160.00 FEET TO THE EASTERLY LINE OF SAID LOT "A"; THENCE ALONG SAID LAST MENTIONED EASTERLY LINE, NORTH 0 15'50" EAST 343.15 FEET TO THE POINT OF BEGINNING. EXCEPT THE EASTERLY 160 FEET THEREOF ALSO EXCEPT THAT PORTION LYING SOUTHERLY OF THE NORTHERLY 250 FEET THEREOF. PARCEL 3: THE SOUTHERLY 100 FEET OF THE NORTHERLY 350 FEET OF THE EASTERLY 160 FEET OF LOT "A" OF TRACT NO. 1594, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22 PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY SAID LAND BEING SHOWN ON THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED MARCH 24, 2008 AS INSTRUMENT NO. 20080499808 OF OFFICIAL RECORDS. PARCEL 4: THAT PORTION OF THE WEST 20 FEET OF CAMINO REAL AS SHOWN ON SAID MAP OF TRACT NO. 1594, TITLE TO WHICH WOULD PASS BY A CONVEYANCE DESCRIBED PARCEL 1 HEREIN BEFORE DESCRIBED. SAID LAND BEING SHOWN ON THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED MARCH 24, 2008 AS INSTRUMENT NO. 20080499808 OF OFFICIAL RECORDS. PARCEL 5: THAT PORTION OF LOT "A" OF TRACT 1594, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22 PAGE 16 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT "A"; THENCE ALONG THE NORTHERLY LINE OF SAID LOT, NORTH 89 56' 30" WEST 180.05 FEET TO THE NORTHEASTERLY CORNER OF LOT 24 OF TRACT NO. 15243, AS PER MAP RECORDED IN BOOK 379 PAGES 10 AND 11 OF MAPS, RECORDS OF SAID COUNTY, THENCE ALONG THE EASTERLY LINES OF PLOTS 24, 23, 22 AND 21 OF SAID TRACT NO. 15243, SOUTH 0 15' 50" WEST 342.50 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 21. THENCE ALONG THE NORTHERLY LINE OF LOT 19 OF SAID TRACT NO. 15243, SOUTH 89 53' 30" EAST 20.05 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 19, THENCE SOUTH 89 44' 10" EAST 160.00 FEET TO THE EASTERLY LINE OF SAID LOT "A"; THENCE ALONG SAID LAST MENTIONED EASTERLY LINE, NORTH 0 15' 50" EAST 343.15 FEET TO THE POINT OF BEGINNING EXCEPT THE EASTERLY 160 FEET THEREOF. ALSO EXCEPT THE NORTHERLY 250 FEET THEREOF. SAID LAND BEING SHOWN ON THE CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED MARCH 24, 2008 AS INSTRUMENT NO. 20080499808 OF OFFICIAL RECORDS.
LOT AREA:	62,888SQFT
LOT COVERAGE:	38,953SQFT BASED UPON BUILDING EXTENT AT GROUND FLOOR
F.A.R.:	1.34 SEE T-1.10 FOR F.A.R. CALCULATIONS
ZONING:	APN: 4169-034-020 C-3/AH-O GENERAL APN: 4169-034-021 C-3/AH-O GENERAL
YARD REQUIREMENTS:	FRONT YARD SETBACK: - NO LOT NEED PROVIDE A FRONT YARD EXCEPT AS MAY BE REQUIRED BY A PRECISE PLAN. REAR AND SIDE YARD SETBACK ADJACENT TO RESIDENTIAL ZONES - C-3 ZONE. A MINIMUM REAR AND/OR SIDE YARD SETBACK OF 8FT SHALL BE PROVIDED, AND AN ADDITIONAL 2FT OF SETBACK SHALL BE PROVIDED FOR EACH STORY OVER THE FIRST STORY FOR STRUCTURES THAT ABUT RESIDENTIAL ZONES, EXCEPT WHERE PUBLIC RIGHTS-OF-WAY, 20FT GREATER IN WIDTH, SEPARATE THE COMMERCIAL ZONE FROM THE RESIDENTIAL ZONE.
GROSS LAND AREA:	APN: 4169-034-020 & 021 74,852SQFT
GROSS FLOOR AREA:	APN: 4169-034-020 & 021 100,296SQFT
BUILDING HEIGHT:	3STORY / 35FT (35FT ABOVE "GRADE") GRADE AS DEFINED BY HB MUNICIPAL CODE CHAPTER 17.04.040
OCCUPANCY TYPE:	B / S3
CONSTRUCTION TYPE:	TYPE II-A (1ST, 2ND & 3RD FLOORS) TYPE I-A (LOWER LEVEL, P1, P2 & P3 FLOORS)

PARKING CALCULATIONS

PARKING REQUIRED

COMMERCIAL SPACES REQUIRED:
DESIGN CENTER 100,296SF @ 1 STALL / 250 S.F. = 401 STALLS
MAX COMPACT ALLOWED FOR DESIGN CENTER= 0.3 x 520 (PROVIDED) = 156 STALLS

PARKING PROVIDED

LEVEL	TYPE	DESCRIPTION	QUANTITY
LOWER LEVEL	COMMERCIAL	HC (STANDARD/VAN) REGULAR COMPACT TANDEM	02 STALLS 45 STALLS 9 STALLS 13 STALLS 69 STALLS
LOWER LEVEL TOTAL			69 STALLS
P1	COMMERCIAL	HC (STANDARD/VAN) REGULAR COMPACT TANDEM	09 STALLS 94 STALLS 18 STALLS 21 STALLS 142 STALLS
P1 TOTAL			142 STALLS
P2	COMMERCIAL	REGULAR COMPACT TANDEM	108 STALLS 18 STALLS 30 STALLS 156 STALLS
P2 TOTAL			156 STALLS
P3	COMMERCIAL	REGULAR COMPACT TANDEM	106 STALLS 18 STALLS 29 STALLS 153 STALLS
P3 TOTAL			153 STALLS
DESIGN CENTER TOTAL			520 STALLS

CHECK:
TOTAL 520 SP. FOR DESIGN CENTER PROVIDED; 401 STALL REQUIREMENT MET
11 HC SP. PROVIDED FOR DESIGN CENTER; 02 x 520 = 10 REQ.; REQUIREMENT MET
TOTAL 156 COMPACT STALLS PROVIDED FOR DESIGN CENTER; 156 MAX. REQUIREMENT MET

BICYCLE PARKING

REQUIRED: 4 BICYCLE PARKING SPACES FOR THE FIRST 50,000 SF. 1 ADDITIONAL PER EACH 50,000 SF AFTER.
100,296SQFT FLOOR AREA: 6 BICYCLE PARKING SPACES REQUIRED
PROVIDED:
9 BICYCLE STORAGE PROVIDED

PROJECT SUMMARY	
EXECUTIVE OFFICES	
PROJECT ADDRESS:	3001 PACIFIC COAST HIGHWAY HERMOSA BEACH, CA 90254
PROJECT DESCRIPTION:	APN: 4169-029-044 & 4169-029-052 NEW TYPE II-A THREE STORY OFFICE BUILDING ABOVE THREE LEVELS OF TYPE I-A SUBTERRANEAN PARKING GARAGE
LEGAL DESCRIPTION:	APN: 4169-029-044 PARCEL 1: LOTS 124, 125, 126 AND 127 OF SOUTHERN CALIFORNIA CONVENTION HALL AND MARINE VIEW PARK, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGES 2 AND 3 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THE NORTH HALF OF THE ALLEY, VACATED BY RESOLUTION NO. 85-4864 OF THE CITY COUNCIL OF THE CITY OF HERMOSA BEACH, RECORDED DECEMBER 11, 1986 AS INSTRUMENT NO. 86-1718664, ADJOINING SAID LOTS ON THE SOUTH, BOUNDED ON THE WEST BY THE SOUTHERN PROLONGATION OF THE WESTERLY LINE OF SAID LOT 122 AND BOUNDED ON THE EAST BY THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT 123. APN: 4169-029-052 PARCEL 2: THAT PORTION OF THE SOUTHERLY HALF OF THE VACATED ALLEY, ADJACENT TO THE NORTH LOTS 124, 125, 126 AND 127 OF SOUTHERN CALIFORNIA CONVENTION HALL AND MARINE VIEW PARK, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES 2 AND 3 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY PARCEL 2: THAT PORTION OF THE SOUTHERLY HALF OF THE VACATED ALLEY, ADJACENT TO THE NORTH LOTS 124, 125, 126 AND 127 OF SOUTHERN CALIFORNIA CONVENTION HALL AND MARINE PARK, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES, 2 AND 2 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, BOUNDED ON THE WEST BY THE NORTHERLY PROLONGATION OF THE WESTERLY LINE OF SAID LOT 127 AND ABOUNDED ON THE EAST BY THE NORTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT 124. AS VACATED BY RESOLUTION NO. 85-4864 OF THE CITY OF COUNCIL OF THE CITY OF HERMOSA BEACH, A CERTIFIED COPY OF WHICH RECORDED DECEMBER 11, 1986 AS INSTRUMENT NO. 86-1718664.
LOT AREA:	15,813SQFT
LOT COVERAGE:	6,688 SQFT BASED UPON BUILDING EXTENT AT GROUND FLOOR
F.A.R.:	0.76 SEE T-1.10 FOR F.A.R. CALCULATIONS
YARD REQUIREMENTS:	FRONT YARD SETBACK: - NO LOT NEED PROVIDE A FRONT YARD EXCEPT AS MAY BE REQUIRED BY A PRECISE PLAN. REAR AND SIDE YARD SETBACK ADJACENT TO RESIDENTIAL ZONES - C-3 ZONE. A MINIMUM REAR AND/OR SIDE YARD SETBACK OF 8FT SHALL BE PROVIDED, AND AN ADDITIONAL 2FT OF SETBACK SHALL BE PROVIDED FOR EACH STORY OVER THE FIRST STORY FOR STRUCTURES THAT ABUT RESIDENTIAL ZONES, EXCEPT WHERE PUBLIC RIGHTS-OF-WAY, 20FT GREATER IN WIDTH, SEPARATE THE COMMERCIAL ZONE FROM THE RESIDENTIAL ZONE.
GROSS LAND AREA:	APN: 4169-029-044 & 052 26,620SQFT
GROSS FLOOR AREA:	APN: 4169-029-044 & 052 20,207SQFT
BUILDING HEIGHT:	3STORY / 35FT (35FT ABOVE "GRADE") GRADE AS DEFINED BY HB MUNICIPAL CODE CHAPTER 17.04.040
OCCUPANCY TYPE:	B / S3
CONSTRUCTION TYPE:	TYPE II-A (1ST, 2ND & 3RD FLOORS) TYPE I-A (P1, P2 & P3 FLOORS)

PARKING REQUIRED

COMMERCIAL SPACES REQUIRED:
EXECUTIVE OFFICES 19,209 SF @ 1 STALL / 250 S.F. = 77 STALLS
GROUND FL. COMMERCIAL / COFFEE HOUSE 998 SF @ 1 STALL/ 100 S.F. = 10 STALLS
EXECUTIVE OFFICES TOTAL = 87 STALLS
COMPACT (ALLOWABLE)
MAX ALLOWED FOR EXECUTIVE OFFICES= 0.3 x 89 (PROVIDED) = 27 STALLS

PARKING PROVIDED

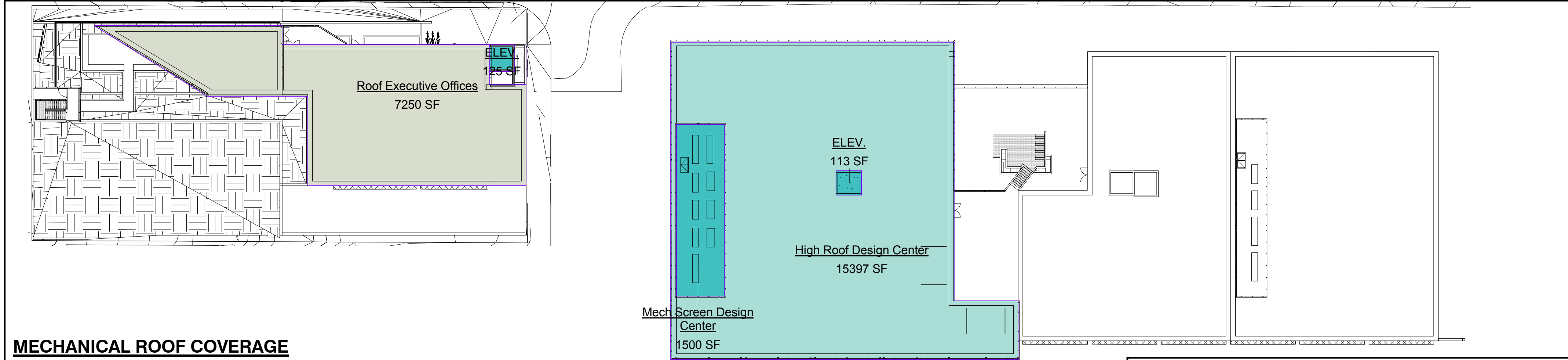
LEVEL	TYPE	DESCRIPTION	QUANTITY
LOWER LEVEL	COMMERCIAL	HC (STANDARD/VAN) REGULAR COMPACT TANDEM	04 STALLS 21 STALLS 25 STALLS
LOWER LEVEL TOTAL			25 STALLS
P1	COMMERCIAL	REGULAR COMPACT TANDEM	29 STALLS 01 STALLS 01 STALLS 31 STALLS
P1 TOTAL			31 STALLS
P2	COMMERCIAL	REGULAR COMPACT TANDEM	31 STALLS 01 STALLS 01 STALLS 33 STALLS
P2 TOTAL			33 STALLS
EXECUTIVE OFFICES TOTAL			89 STALLS

CHECK:
TOTAL 89 SP. FOR EXECUTIVE OFFICES PROVIDED; 87 STALL REQUIREMENT MET
4 HC SP. PROVIDED FOR EXECUTIVE OFFICES; 4 REQ.; REQUIREMENT MET
TOTAL 4 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. REQUIREMENT MET

BICYCLE PARKING

REQUIRED: 4 BICYCLE PARKING SPACES FOR THE FIRST 50,000 SF. 1 ADDITIONAL PER EACH 50,000 SF AFTER.
20,229 SQFT FLOOR AREA: 0 BICYCLE PARKING SPACES REQUIRED
PROVIDED:
5 BICYCLE PARKING PROVIDED

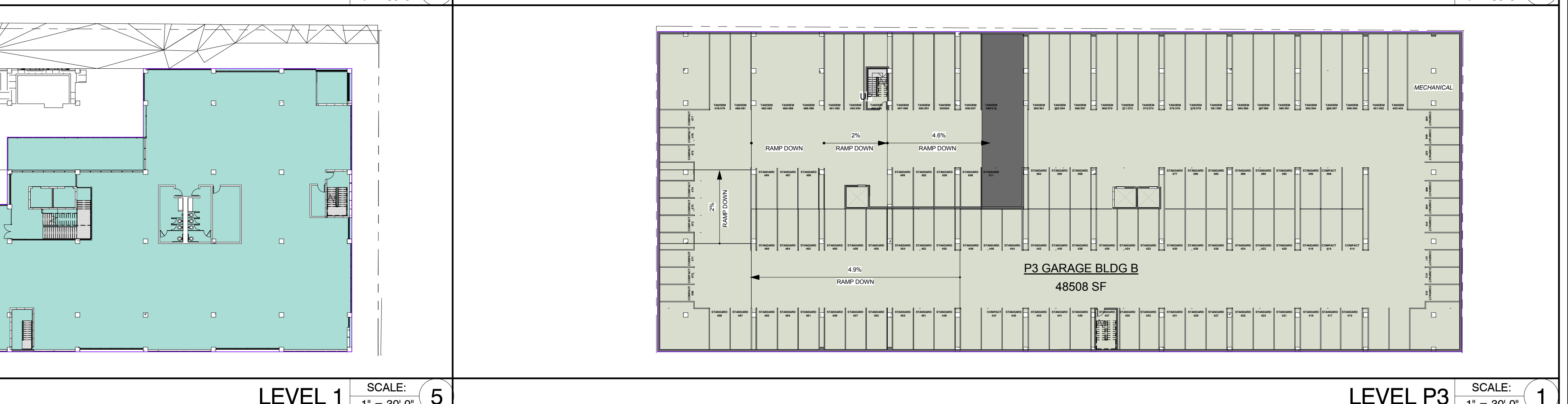
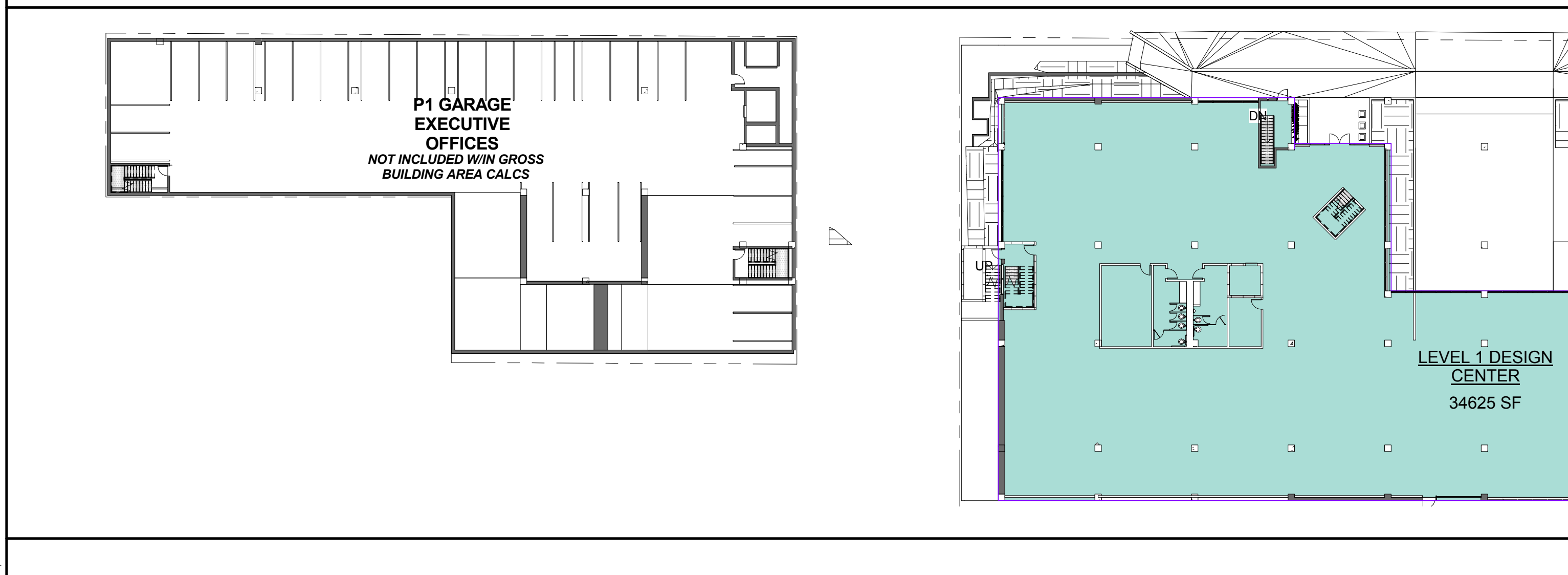
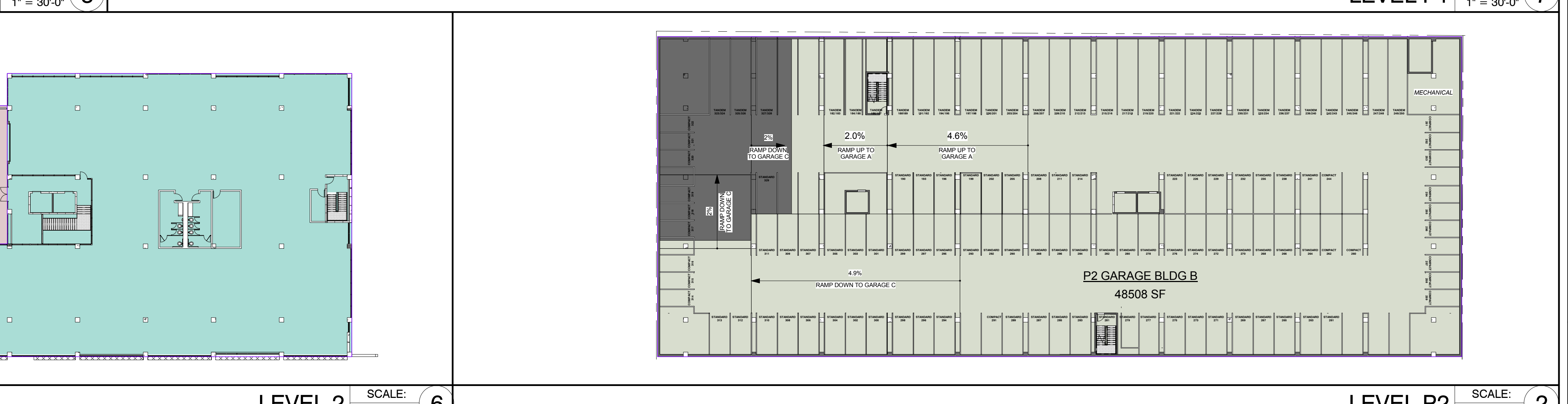
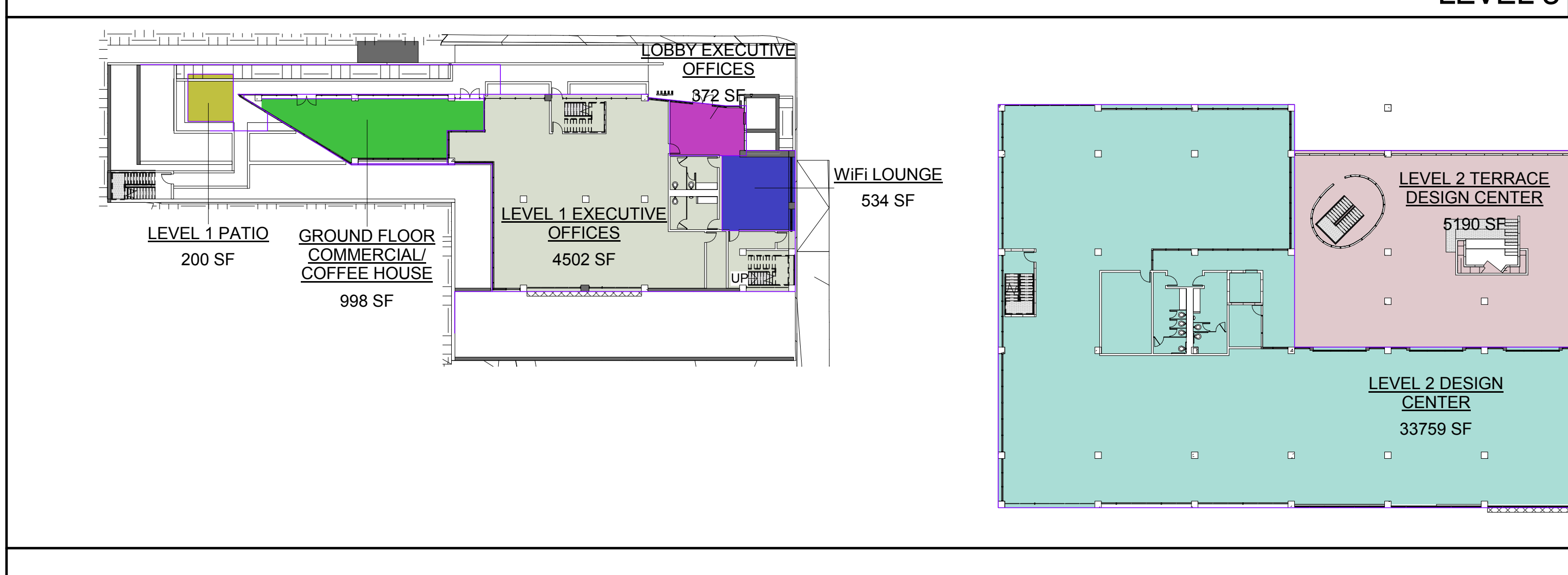
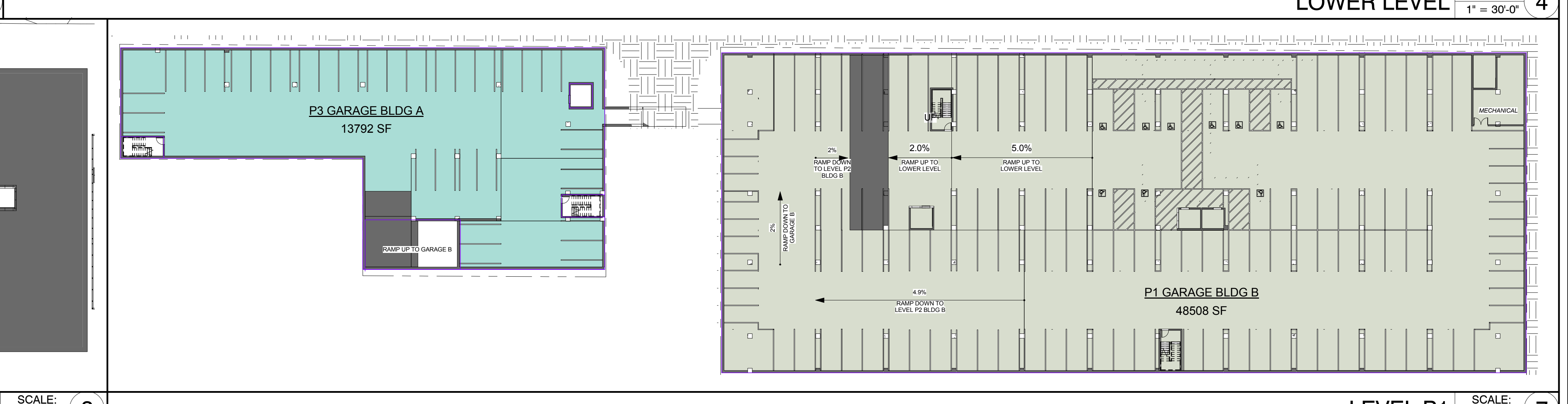
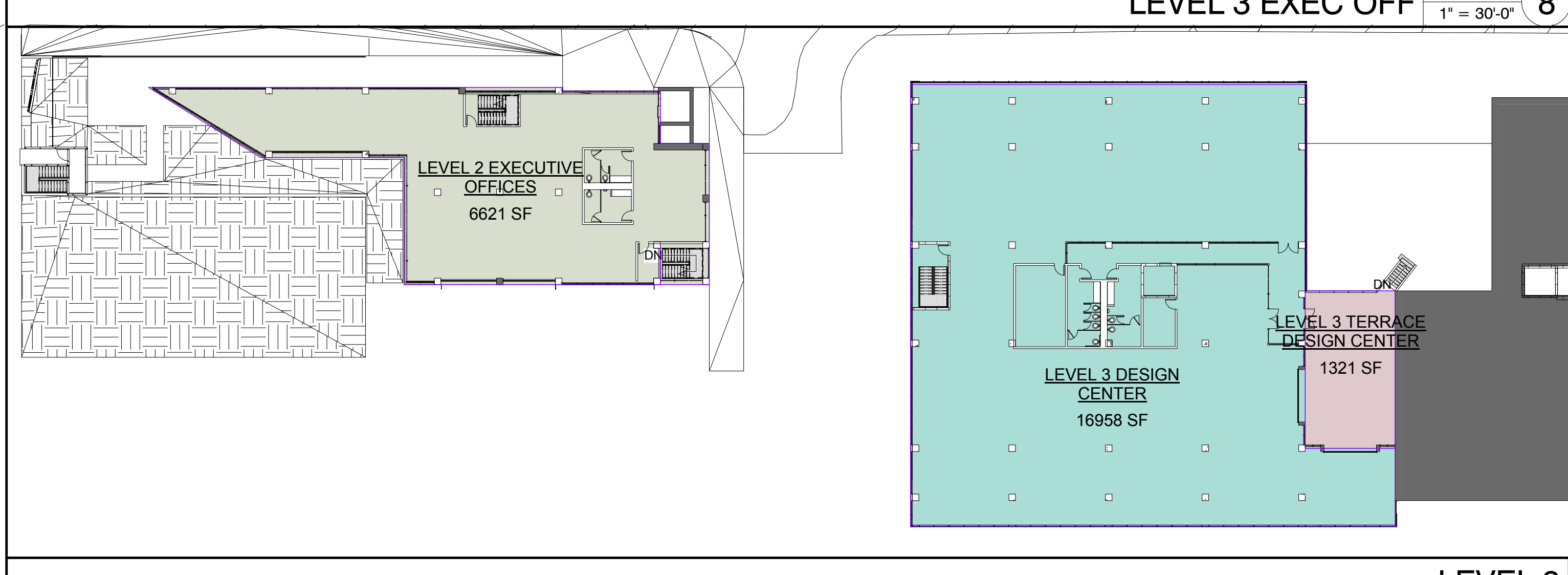
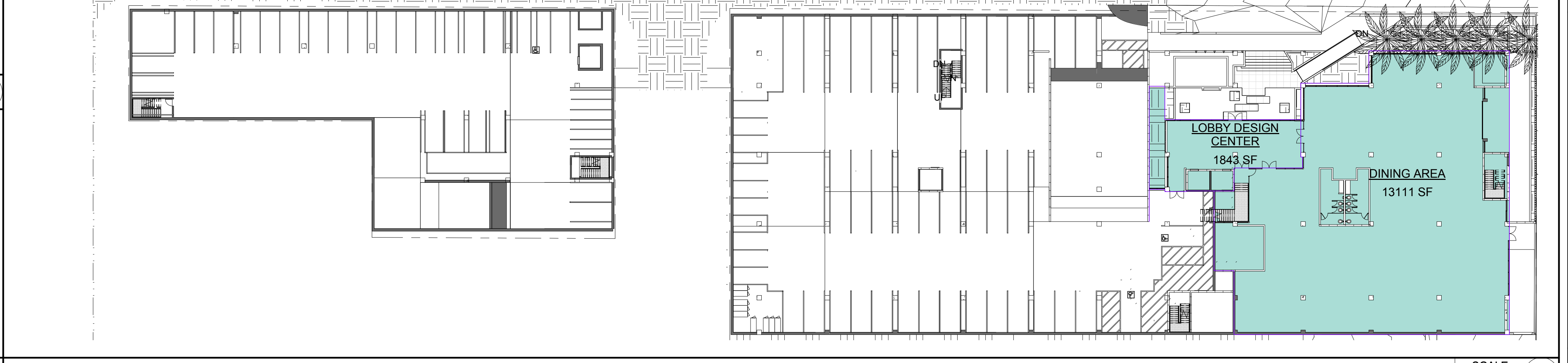
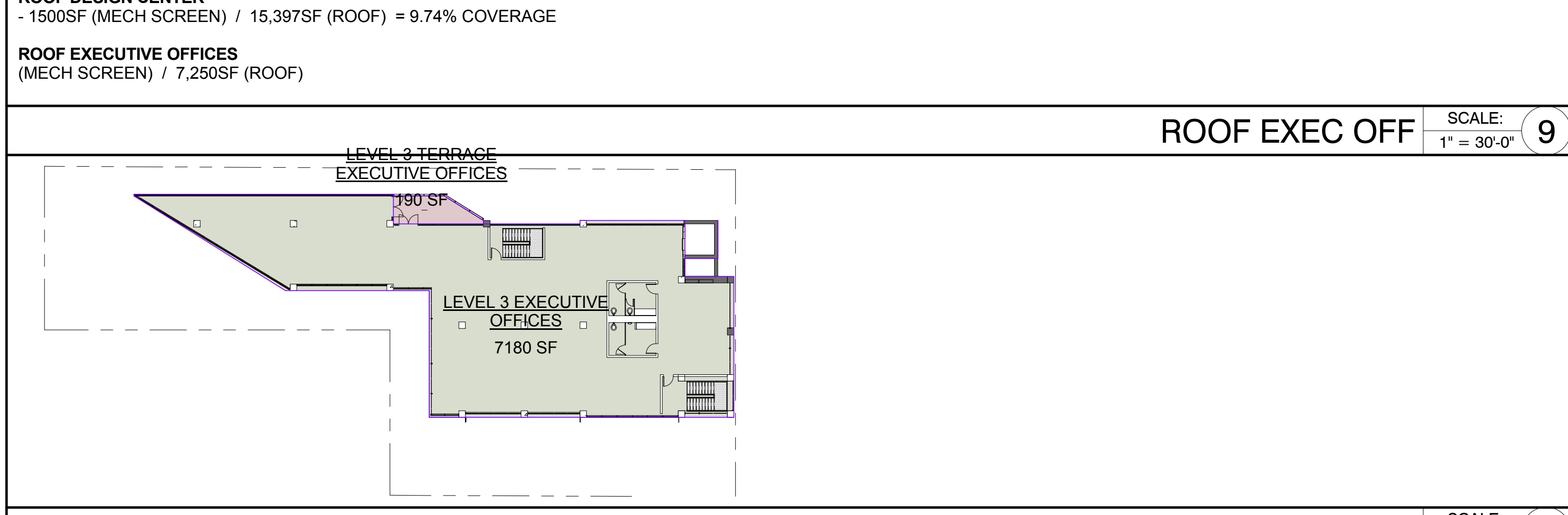
SHEET INDEX	
A-2.20	2901-3001 Pacific Coast Highway
R-1.0	PHOTO MONTAGE - SKECHERS SOUTH FROM KEATS STREET
R-1.1	PHOTO MONTAGE - SKECHERS NORTH FROM KEATS STREET
R-1.2	PHOTO MONTAGE - SKECHERS FROM NORTH
T-1.01	TITLE SHEET
T-1.10	GROSS AREA PLANS
A-1.01	SITE SURVEY
A-1.03	SITE PLAN
A-2.01	P3 GARAGE - DESIGN CENTER
A-2.02	P2 GARAGE - DESIGN CENTER
A-2.03	P1 GARAGE - DESIGN CENTER
A-2.04	LOWER LEVEL - DESIGN CENTER
A-2.05	LEVEL 1 - DESIGN CENTER
A-2.06	LEVEL 2 - DESIGN CENTER
A-2.07	LEVEL 3 - DESIGN CENTER
A-2.08	ROOF PLAN - DESIGN CENTER
A-2.11	P3 GARAGE - EXECUTIVE OFFICES
A-2.12	P2 GARAGE - EXECUTIVE OFFICES
A-2.13	P1 GARAGE-EXECUTIVE OFFICES
A-2.14	LEVEL 1 - EXECUTIVE OFFICES
A-2.15	LEVEL 2 - EXECUTIVE OFFICES
A-2.1	



GROSS FLOOR AREA CALCULATIONS

FLOOR AREA RATIO - THE AMOUNT OF GROSS FLOOR AREA, NOT INCLUDING COVERED GARAGES, OF BUILDING PERMITTED IN RELATION TO GROSS LAND AREA.
GROSS LAND AREA - THE AREA OF A LOT, EXPRESSED IN SQUARE FEET, INCLUDING ALL EASEMENTS, MEASURED TO THE CENTER LINE OF ALL ABUTTING STREETS, ALLEYS AND WALKWAYS.

DESIGN CENTER		EXECUTIVE OFFICES	
APN: 4169-034-020 & 021		APN: 4169-029-044 & 052	
LOWER LEVEL	14,954SF	LEVEL 1 (OFFICE)	5,408 SF
LEVEL 1	34,625SF	LEVEL 1 (COFFEE HOUSE)	998 SF
LEVEL 2	33,759SF	LEVEL 2	6,621 SF
LEVEL 3	16,958SF	LEVEL 3	7,180 SF
TOTAL APN FLOOR AREA	100,296SF	TOTAL APN FLOOR AREA	20,207 SF
TOTAL APN GROSS LAND AREA	74,852SF	TOTAL APN GROSS LAND AREA	26,620 SF
TOTAL APN FLOOR AREA RATIO	100,296 / 74,852SF = 1.34FAR	TOTAL APN FLOOR AREA RATIO	20,207 / 26,620 SF = 0.76FAR
		TOTAL PROPOSED FLOOR AREA	20,207SF + 100,296SF = 120,503 SF



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 www.dfhaid.com
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 David Foster Hillier Architects
 Skechers
 2901 Pacific Coast Highway
 Hermosa Beach, CA 90254

GROSS AREA PLANS



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CBC ALLOWABLE BUILDING AREA CALCULATIONS

THE BUILDING HEIGHT AND AREA SHALL NOT EXCEED THE LIMITS SPECIFIED IN TABLE 503 BASED ON THE TYPE OF CONSTRUCTION AS DETERMINED BY SECTION 602 AND THE OCCUPANCIES AS DETERMINED BY SECTION 302 EXCEPT AS MODIFIED HEREAFTER. **CBC SECTION 503.1**

TYPE I-A CONSTRUCTION

S-2 GARAGE OCCUPANCY

- P1 DESIGN CENTER - UNLIMITED AREA / UNLIMITED STORIES
- P2 DESIGN CENTER - UNLIMITED AREA / UNLIMITED STORIES
- P3 DESIGN CENTER - UNLIMITED AREA / UNLIMITED STORIES
- P1 EXECUTIVE OFFICES - UNLIMITED AREA / UNLIMITED STORIES
- P2 EXECUTIVE OFFICES - UNLIMITED AREA / UNLIMITED STORIES
- P3 EXECUTIVE OFFICES - UNLIMITED AREA / UNLIMITED STORIES

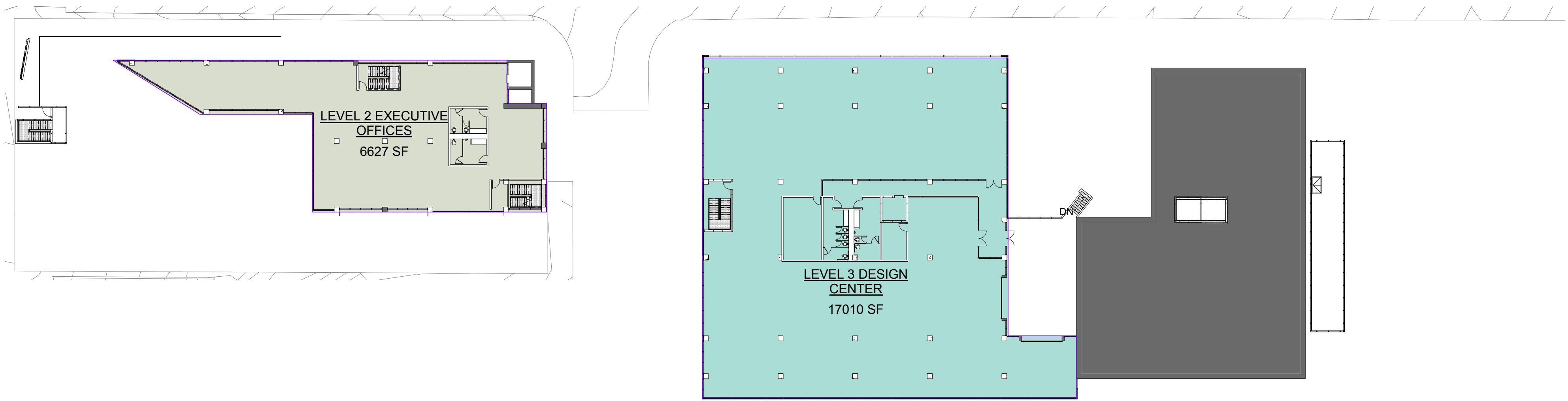
TYPE II-A CONSTRUCTION

B GENERAL OFFICE OCCUPANCY

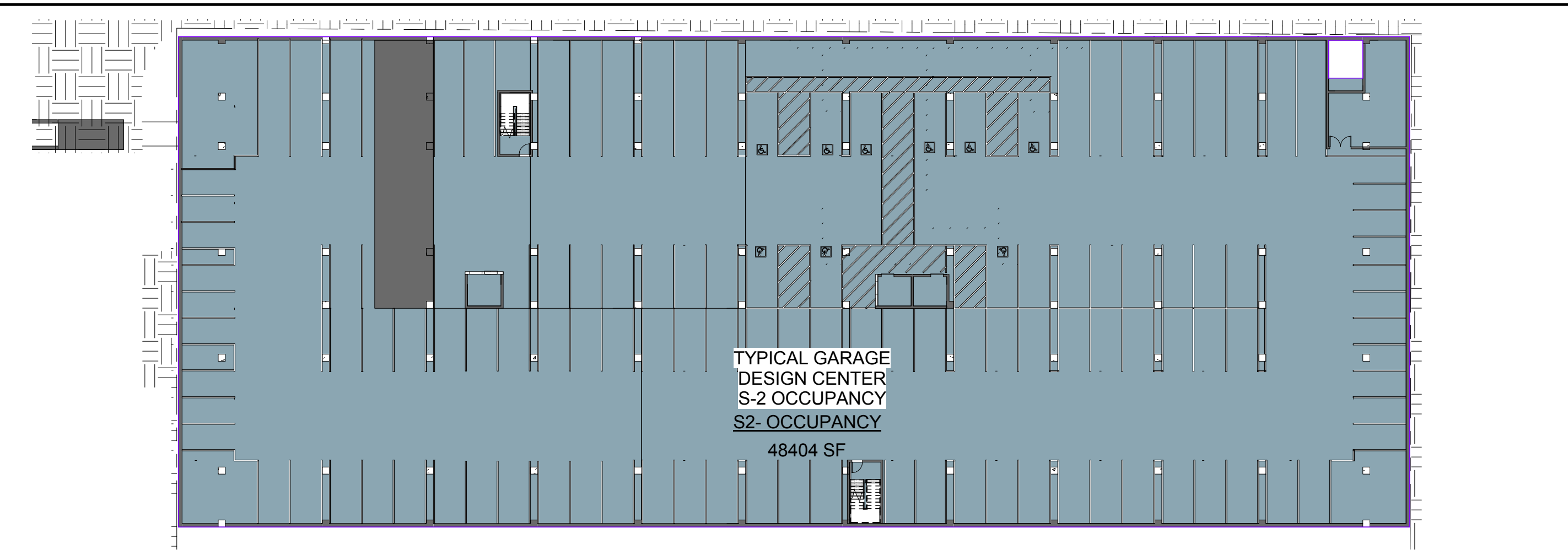
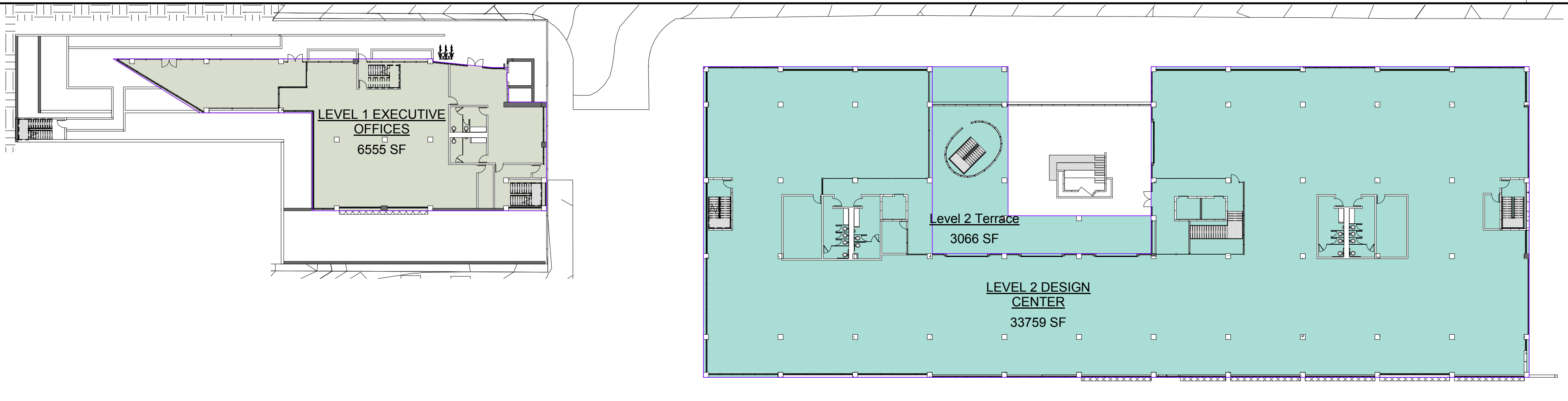
- LOWER LEVEL DESIGN CENTER
- LEVEL 1 DESIGN CENTER
- LEVEL 2 DESIGN CENTER
- LEVEL 3 DESIGN CENTER
- LEVEL 1 EXECUTIVE OFFICES
- LEVEL 2 EXECUTIVE OFFICES
- LEVEL 3 EXECUTIVE OFFICES

ALLOWED	PROVIDED
37,500SF	16,600SF
37,500SF	33,788SF
37,500SF	33,759SF
37,500SF	18,106SF
37,500SF	6,555 SF
37,500SF	6,627 SF
37,500SF	7,206 SF

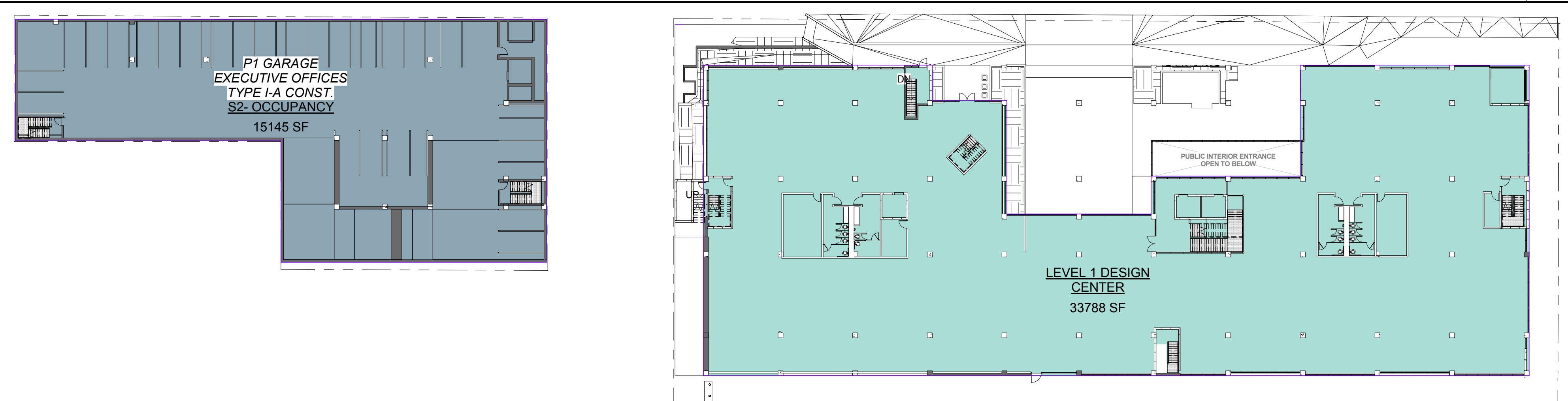
LEVEL 3 EXEC OFF SCALE: 1" = 30'-0" **6**



LEVEL 3 SCALE: 1" = 30'-0" **5**

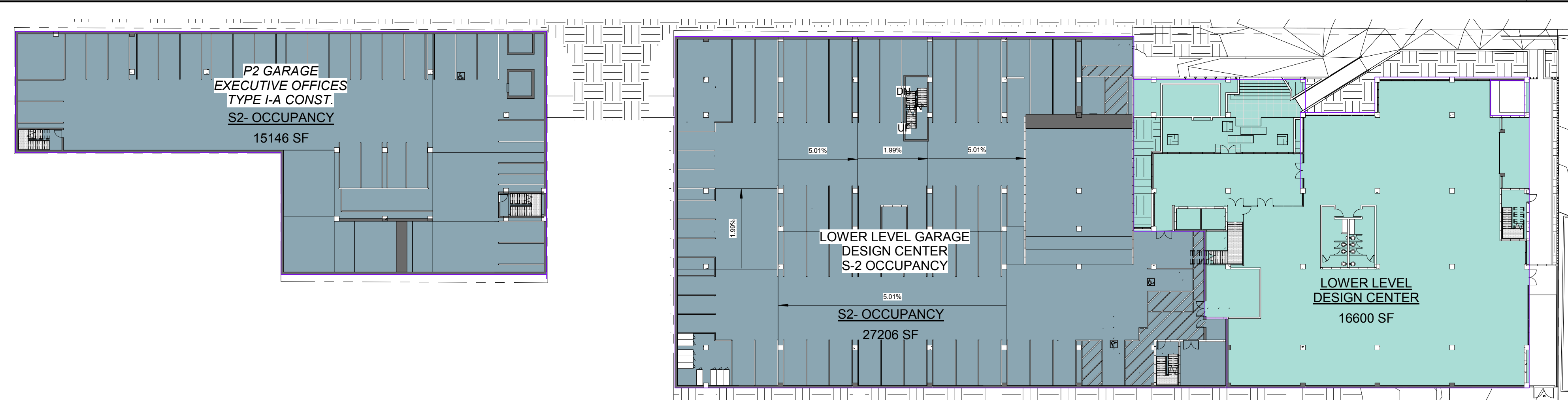


LEVEL 2 SCALE: 1" = 30'-0" **4**



LEVEL P1 SCALE: 1" = 30'-0" **1**

LEVEL 1 SCALE: 1" = 30'-0" **3**



LOWER LEVEL SCALE: 1" = 30'-0" **2**

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 Hermosa Beach, CA 90254
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 2901 Pacific Coast Highway
 Hermosa Beach, CA 90254

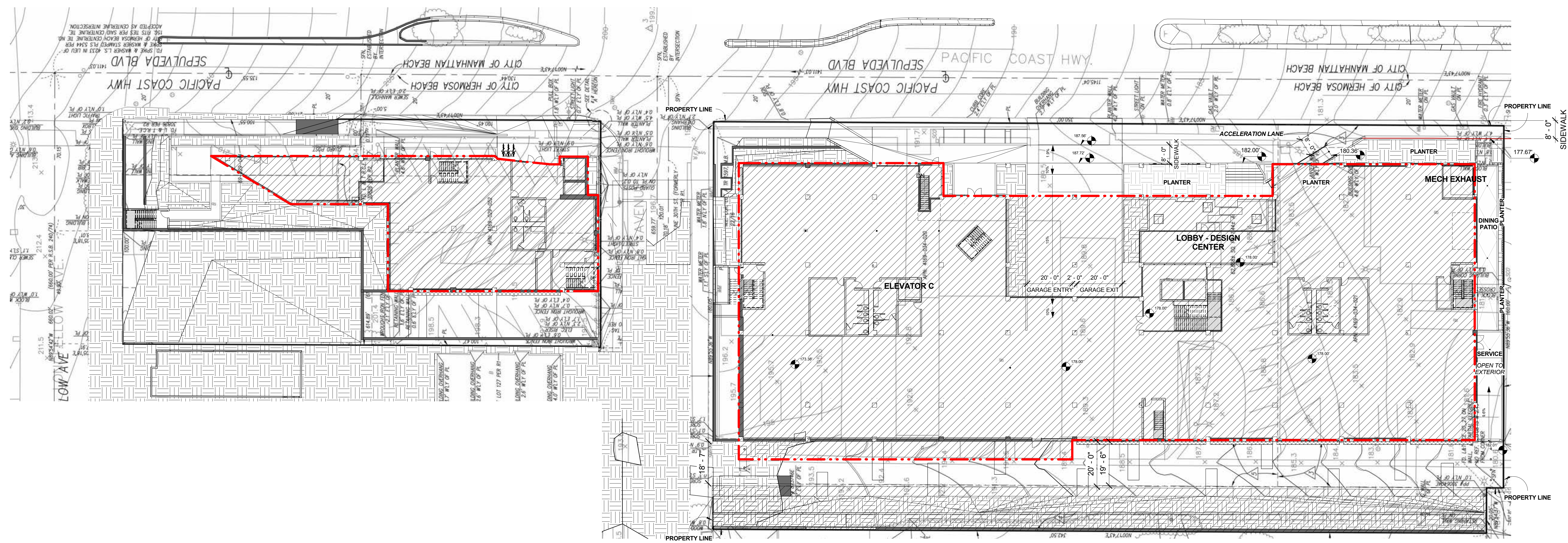
CBC ALLOWABLE BUILDING AREA CALCULATIONS



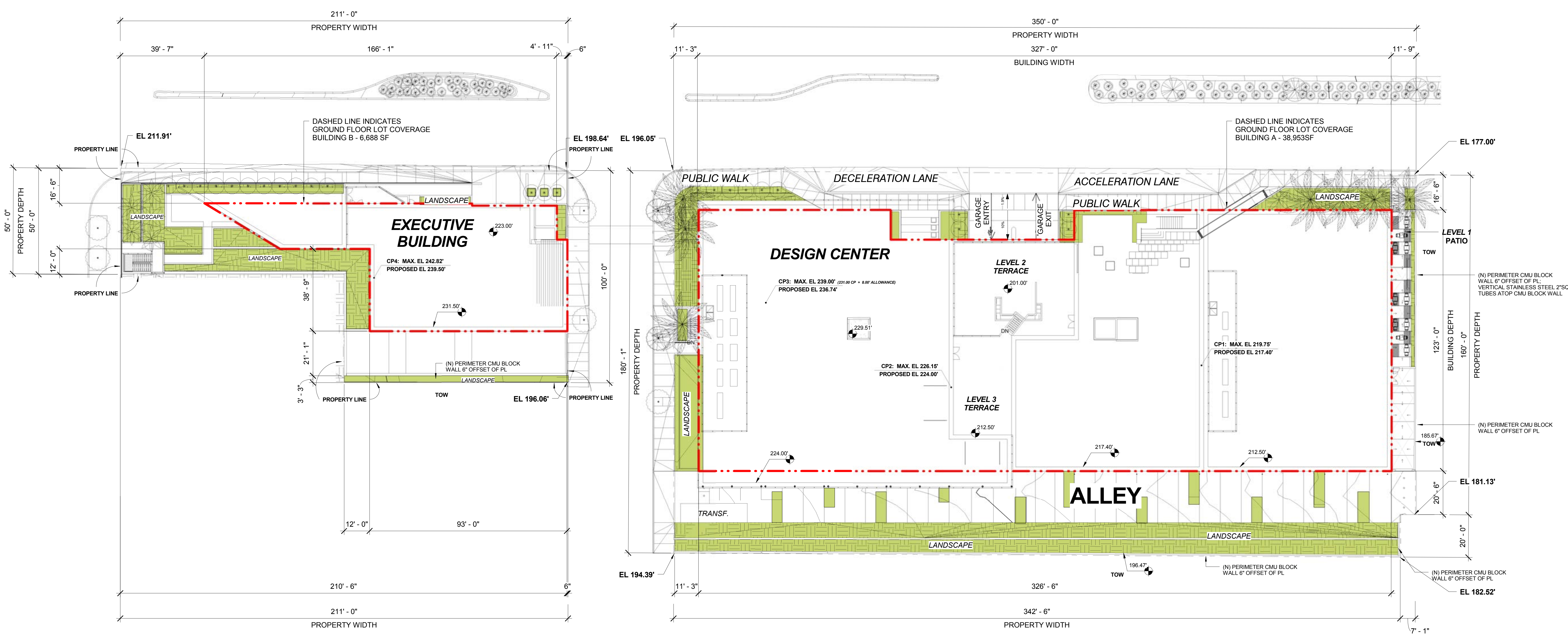
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Lot Coverage Plan SCALE: 1" = 20'-0" **1**



SITE PLAN SCALE: 1" = 20'-0" **1**

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LEGENDS

WALL HATCH LEGEND

- A** MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B** MIN. 1-HOUR FIRE RATED WALL
- C** MIN. 2-HOUR FIRE RATED WALL
- D** MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

PARKING

PARKING PROVIDED

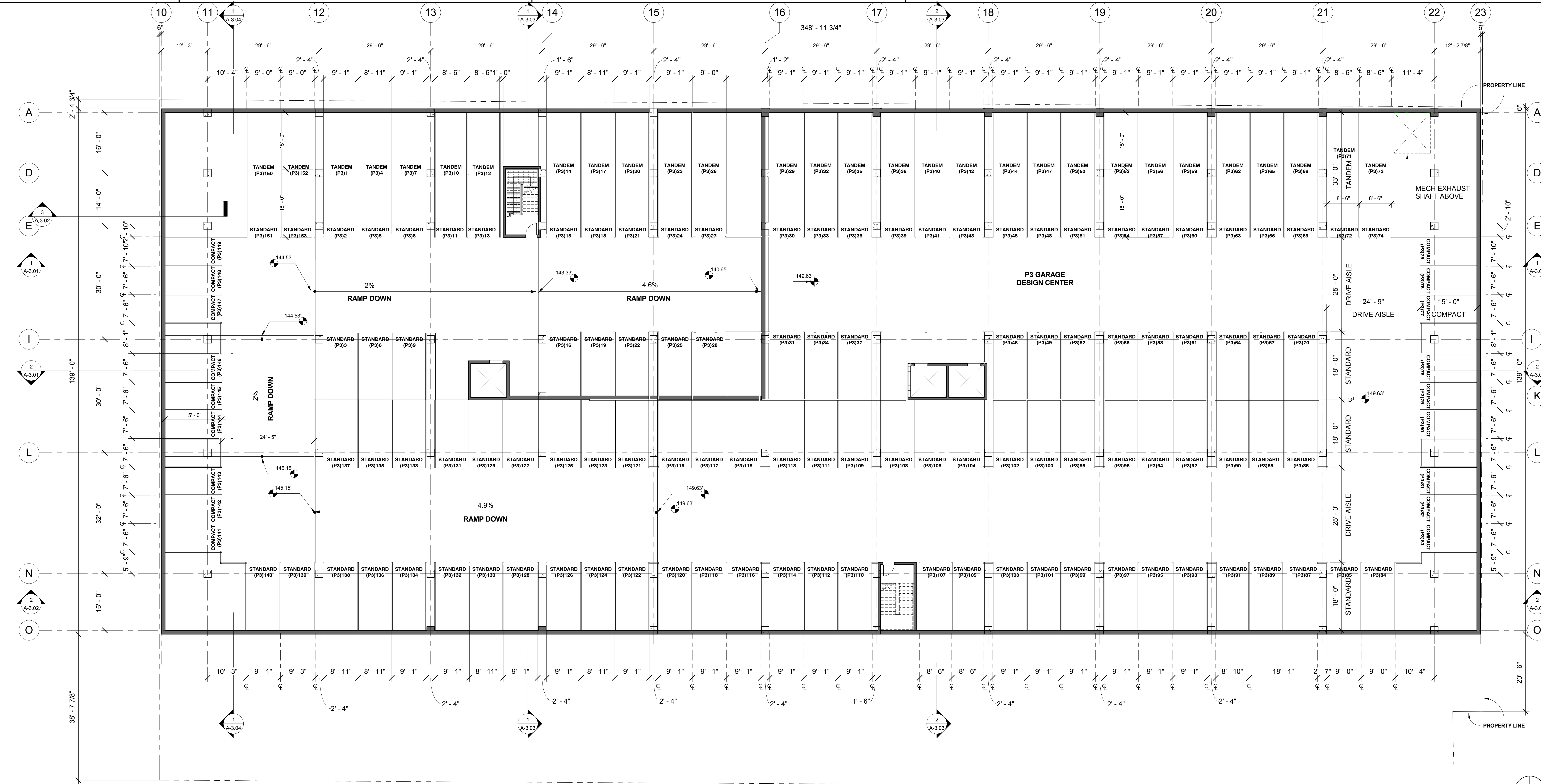
DESIGN CENTER:

LEVEL	TYPE	DESCRIPTION	QUANTITY
LOWER LEVEL	COMMERCIAL	HC (STANDARD/VAN)	02 STALLS
		REGULAR	45 STALLS
		COMPACT	9 STALLS
		TANDEM	13 STALLS
LOWER LEVEL TOTAL			69 STALLS
P1	COMMERCIAL	HC (STANDARD/VAN)	09 STALLS
		REGULAR	94 STALLS
		COMPACT	18 STALLS
		TANDEM	21 STALLS
P1 TOTAL			142 STALLS
P2	COMMERCIAL	REGULAR	108 STALLS
		COMPACT	18 STALLS
		TANDEM	30 STALLS
P2 TOTAL			156 STALLS
P3	COMMERCIAL	REGULAR	106 STALLS
		COMPACT	18 STALLS
		TANDEM	29 STALLS
P3 TOTAL			153 STALLS
DESIGN CENTER TOTAL			520 STALLS

CHECK:

TOTAL 520 SP. FOR DESIGN CENTER PROVIDED; 401 STALL REQUIREMENT MET
 11 HC SP. PROVIDED FOR DESIGN CENTER; 02 x 520 = 10 REG. REQUIREMENT MET
 TOTAL 156 COMPACT STALLS PROVIDED FOR DESIGN CENTER; 156 MAX. REQUIREMENT MET

KEYNOTES



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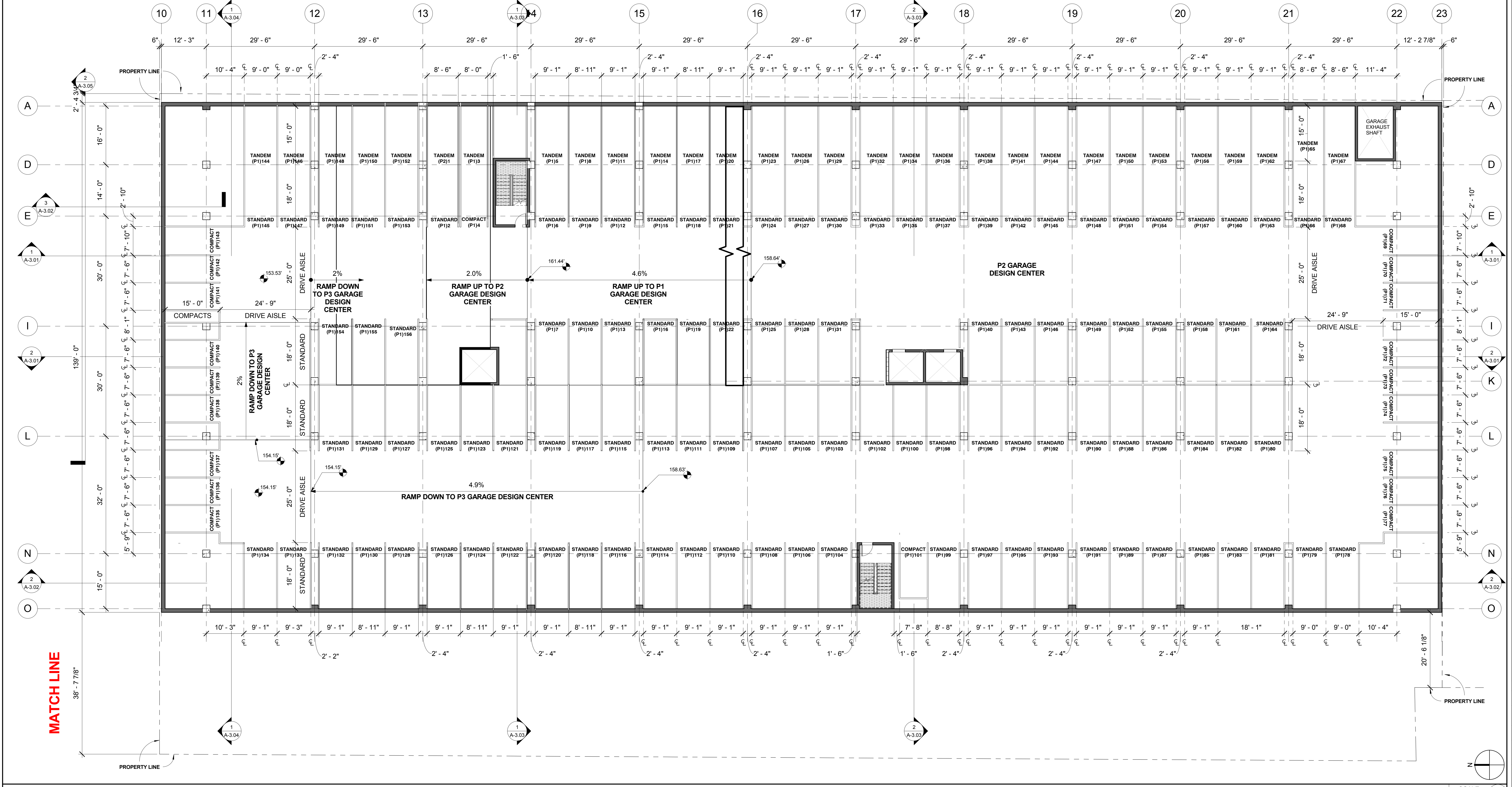
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LEGENDS	
WALL HATCH LEGEND	
A	MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
B	MIN. 1-HOUR FIRE RATED WALL
C	MIN. 2-HOUR FIRE RATED WALL
D	MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

GENERAL NOTES

PARKING PROVIDED			
DESIGN CENTER:			
LEVEL	TYPE	DESCRIPTION	QUANTITY
LOWER LEVEL	COMMERCIAL	HC (STANDARD/VAN)	02 STALLS
		REGULAR	45 STALLS
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KEYNOTES



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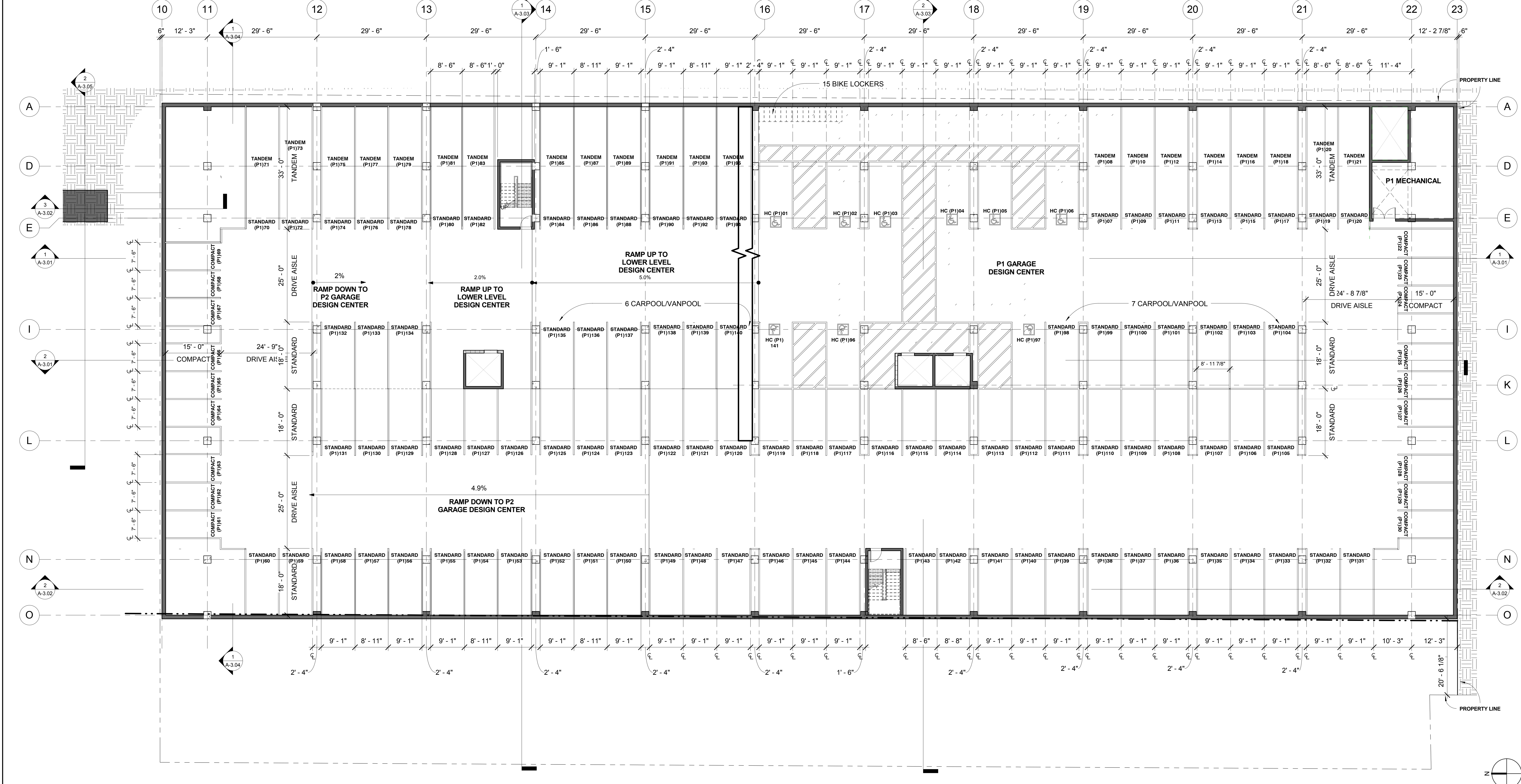
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P2 GARAGE - DESIGN CENTER

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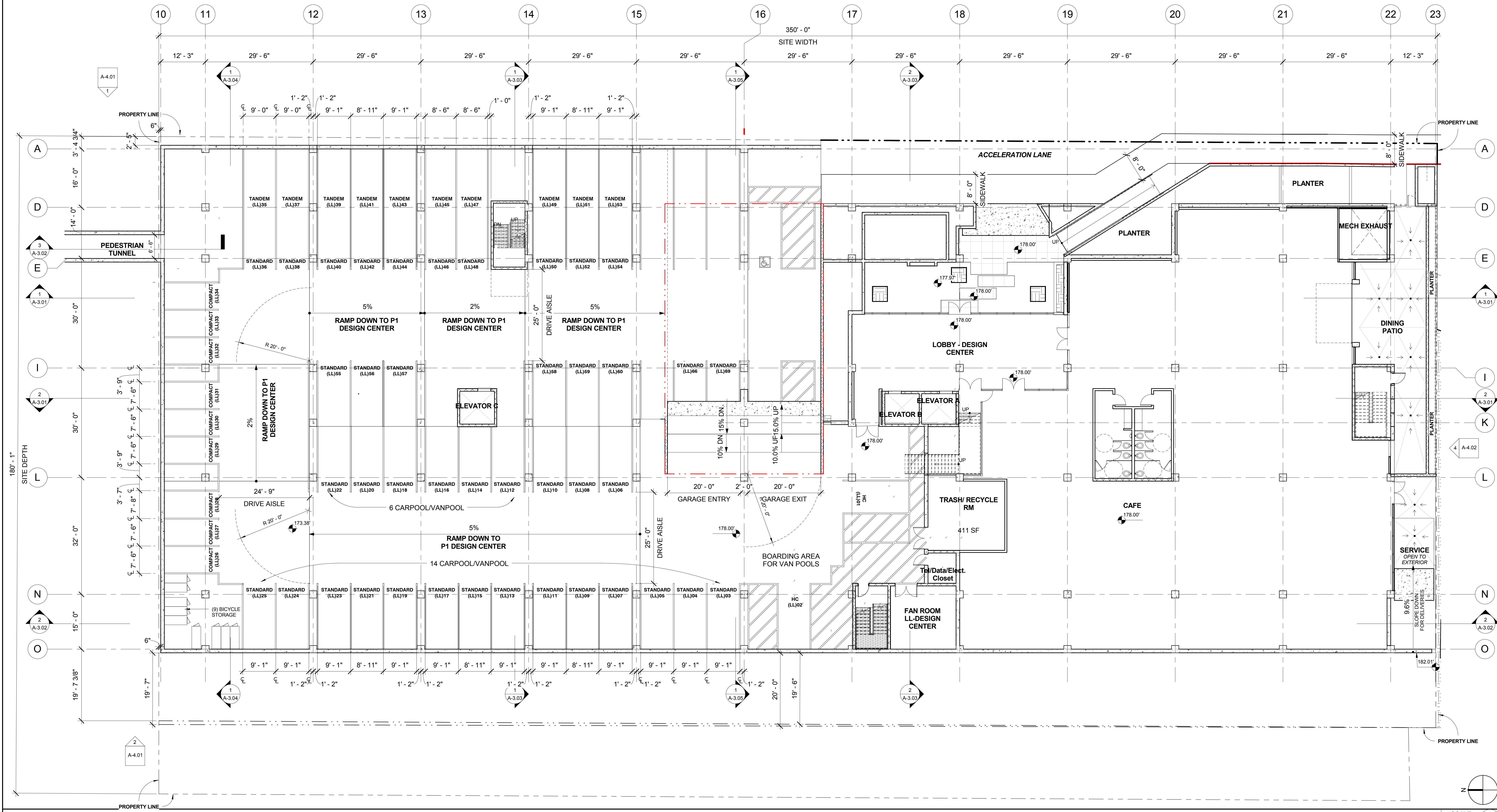
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LEGENDS	GENERAL NOTES	PARKING	KEYNOTES																																																												
WALL HATCH LEGEND A MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC B MIN. 1-HOUR FIRE RATED WALL C MIN. 2-HOUR FIRE RATED WALL D MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL		PARKING PROVIDED DESIGN CENTER: <table border="1"> <thead> <tr> <th>LEVEL</th> <th>TYPE</th> <th>DESCRIPTION</th> <th>QUANTITY</th> </tr> </thead> <tbody> <tr> <td rowspan="4">LOWER LEVEL</td> <td rowspan="4">COMMERCIAL</td> <td>HC (STANDARD/VAN)</td> <td>02 STALLS</td> </tr> <tr> <td>REGULAR</td> <td>45 STALLS</td> </tr> <tr> <td>COMPACT</td> <td>9 STALLS</td> </tr> <tr> <td>TANDEM</td> <td>13 STALLS</td> </tr> <tr> <td colspan="3">LOWER LEVEL TOTAL</td> <td>69 STALLS</td> </tr> <tr> <td rowspan="4">P1</td> <td rowspan="4">COMMERCIAL</td> <td>HC (STANDARD/VAN)</td> <td>09 STALLS</td> </tr> <tr> <td>REGULAR</td> <td>94 STALLS</td> </tr> <tr> <td>COMPACT</td> <td>18 STALLS</td> </tr> <tr> <td>TANDEM</td> <td>21 STALLS</td> </tr> <tr> <td colspan="3">P1 TOTAL</td> <td>142 STALLS</td> </tr> <tr> <td rowspan="3">P2</td> <td rowspan="3">COMMERCIAL</td> <td>REGULAR</td> <td>108 STALLS</td> </tr> <tr> <td>COMPACT</td> <td>18 STALLS</td> </tr> <tr> <td>TANDEM</td> <td>30 STALLS</td> </tr> <tr> <td colspan="3">P2 TOTAL</td> <td>156 STALLS</td> </tr> <tr> <td rowspan="3">P3</td> <td rowspan="3">COMMERCIAL</td> <td>REGULAR</td> <td>106 STALLS</td> </tr> <tr> <td>COMPACT</td> <td>18 STALLS</td> </tr> <tr> <td>TANDEM</td> <td>29 STALLS</td> </tr> <tr> <td colspan="3">P3 TOTAL</td> <td>153 STALLS</td> </tr> <tr> <td colspan="3">DESIGN CENTER TOTAL</td> <td>520 STALLS</td> </tr> </tbody> </table> <p>CHECK: TOTAL 520 SP. FOR DESIGN CENTER PROVIDED; 401 STALL REQUIREMENT MET 11 HC SP. PROVIDED FOR DESIGN CENTER; 02 x 520 = 10 REQ. REQUIREMENT MET TOTAL 156 COMPACT STALLS PROVIDED FOR DESIGN CENTER; 156 MAX. REQUIREMENT MET</p>	LEVEL	TYPE	DESCRIPTION	QUANTITY	LOWER LEVEL	COMMERCIAL	HC (STANDARD/VAN)	02 STALLS	REGULAR	45 STALLS	COMPACT	9 STALLS	TANDEM	13 STALLS	LOWER LEVEL TOTAL			69 STALLS	P1	COMMERCIAL	HC (STANDARD/VAN)	09 STALLS	REGULAR	94 STALLS	COMPACT	18 STALLS	TANDEM	21 STALLS	P1 TOTAL			142 STALLS	P2	COMMERCIAL	REGULAR	108 STALLS	COMPACT	18 STALLS	TANDEM	30 STALLS	P2 TOTAL			156 STALLS	P3	COMMERCIAL	REGULAR	106 STALLS	COMPACT	18 STALLS	TANDEM	29 STALLS	P3 TOTAL			153 STALLS	DESIGN CENTER TOTAL			520 STALLS	
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LOWER LEVEL - South SCALE: 3/32" = 1'-0" 1

KEYNOTE LEGEND

LEGENDS

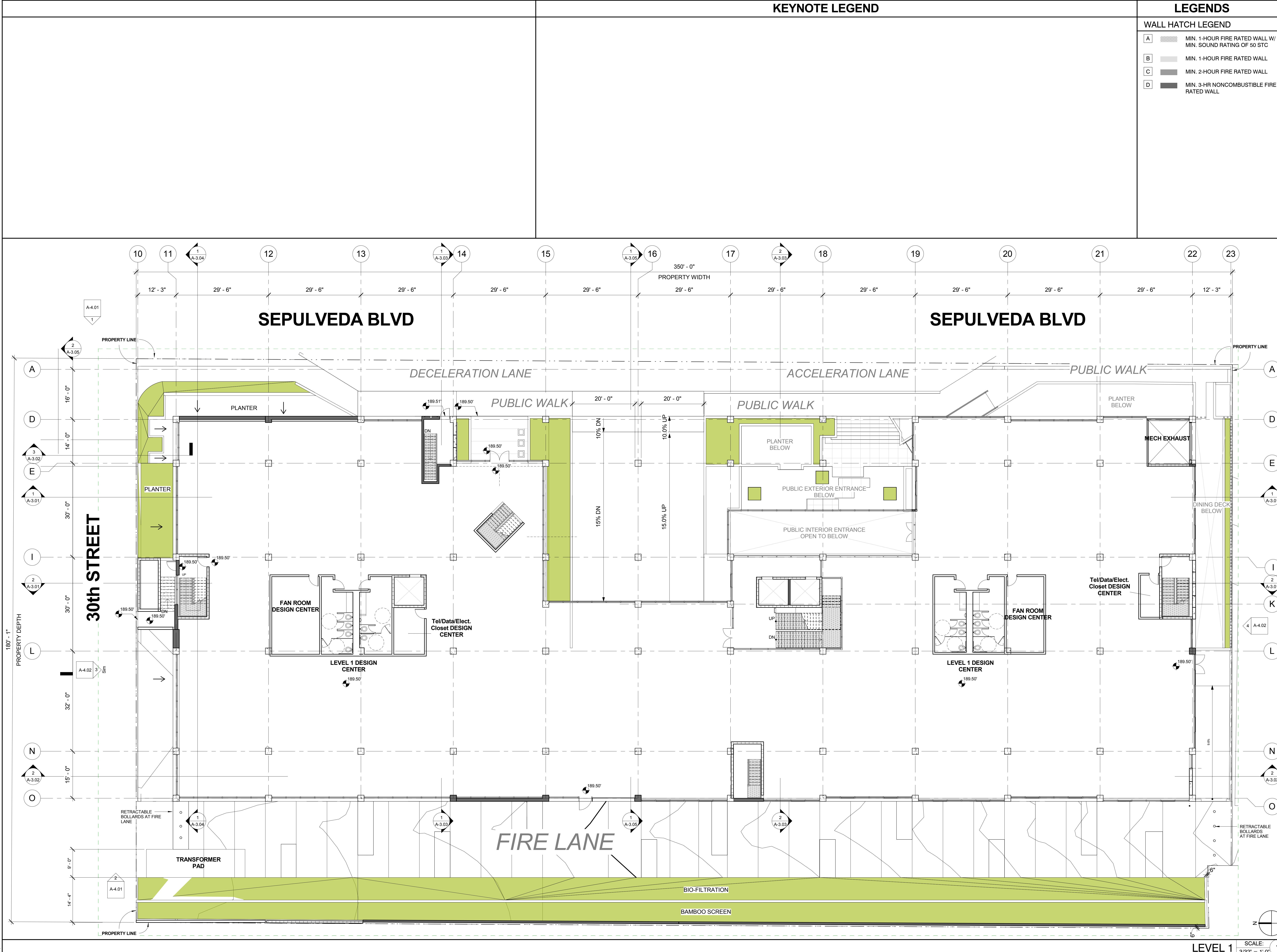
WALL HATCH LEGEND

- A [Hatch] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Hatch] MIN. 1-HOUR FIRE RATED WALL
- C [Hatch] MIN. 2-HOUR FIRE RATED WALL
- D [Hatch] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL



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KEYNOTE LEGEND

LEGENDS

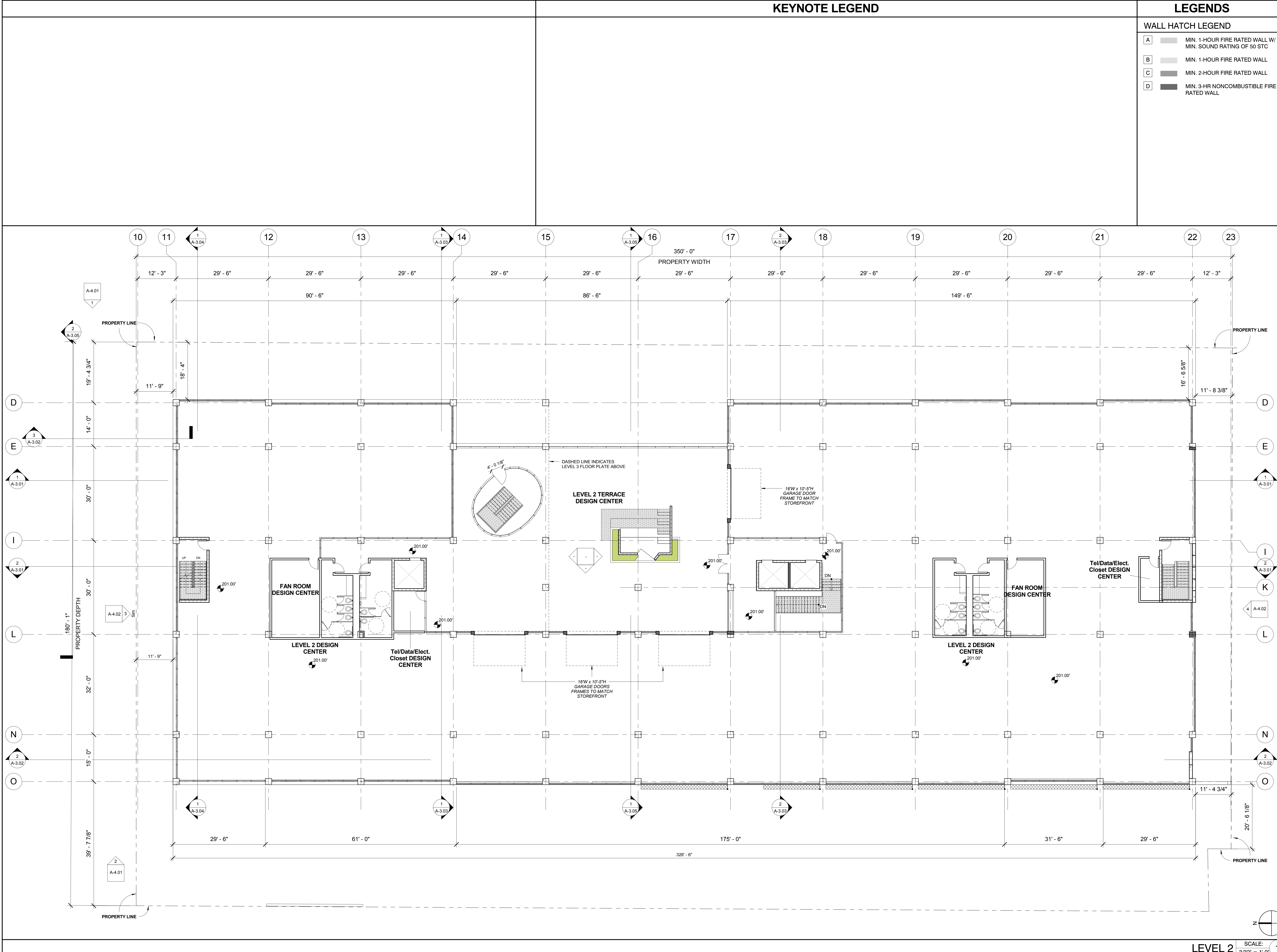
WALL HATCH LEGEND

- A [Hatched Box] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Solid Grey Box] MIN. 1-HOUR FIRE RATED WALL
- C [Dark Grey Box] MIN. 2-HOUR FIRE RATED WALL
- D [Black Box] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL



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KEYNOTE LEGEND

LEGENDS

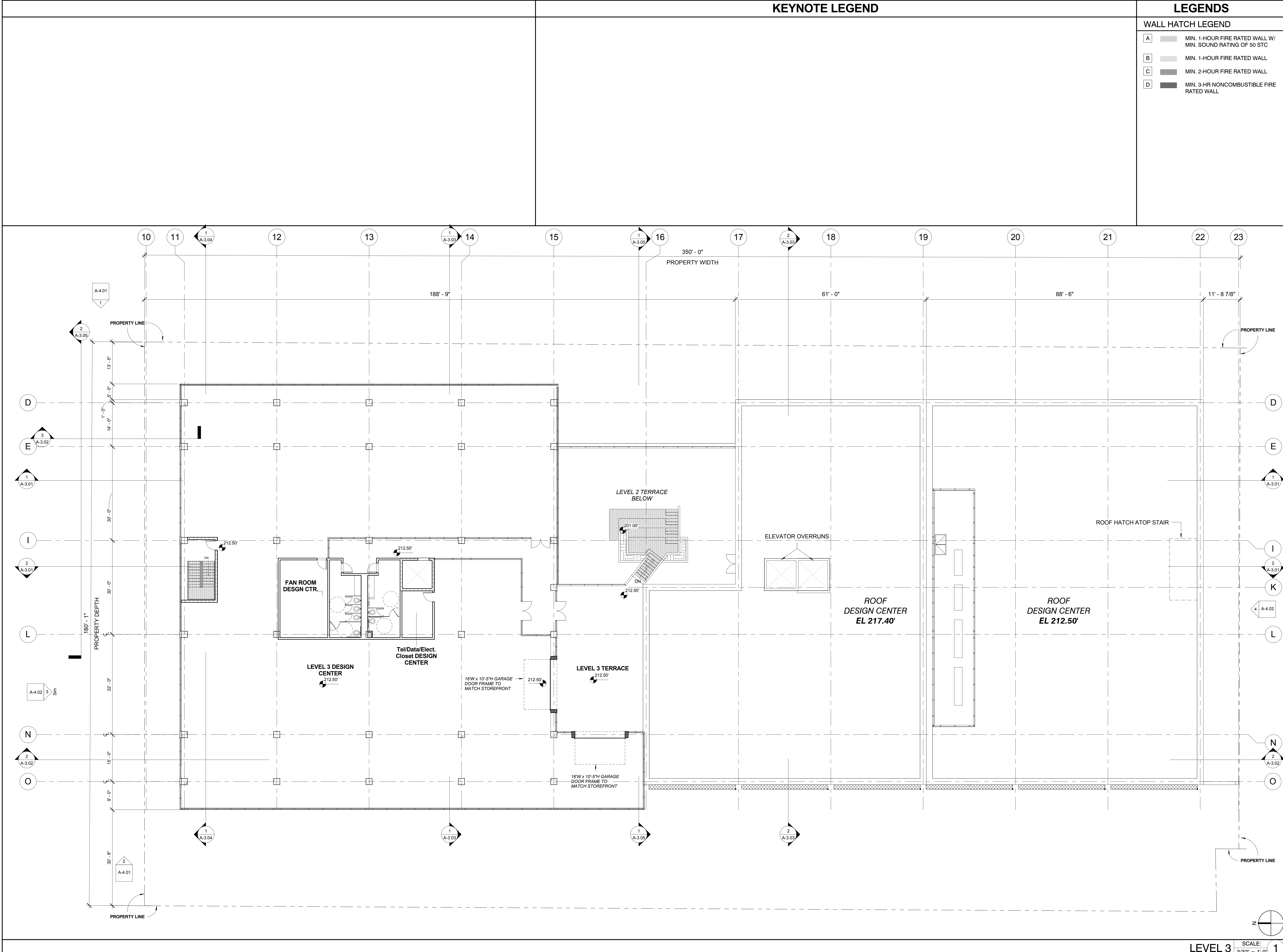
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KEYNOTE LEGEND

LEGENDS

WALL HATCH LEGEND

- A [Hatch] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
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LEGENDS

GENERAL NOTES

PARKING

KEYNOTES

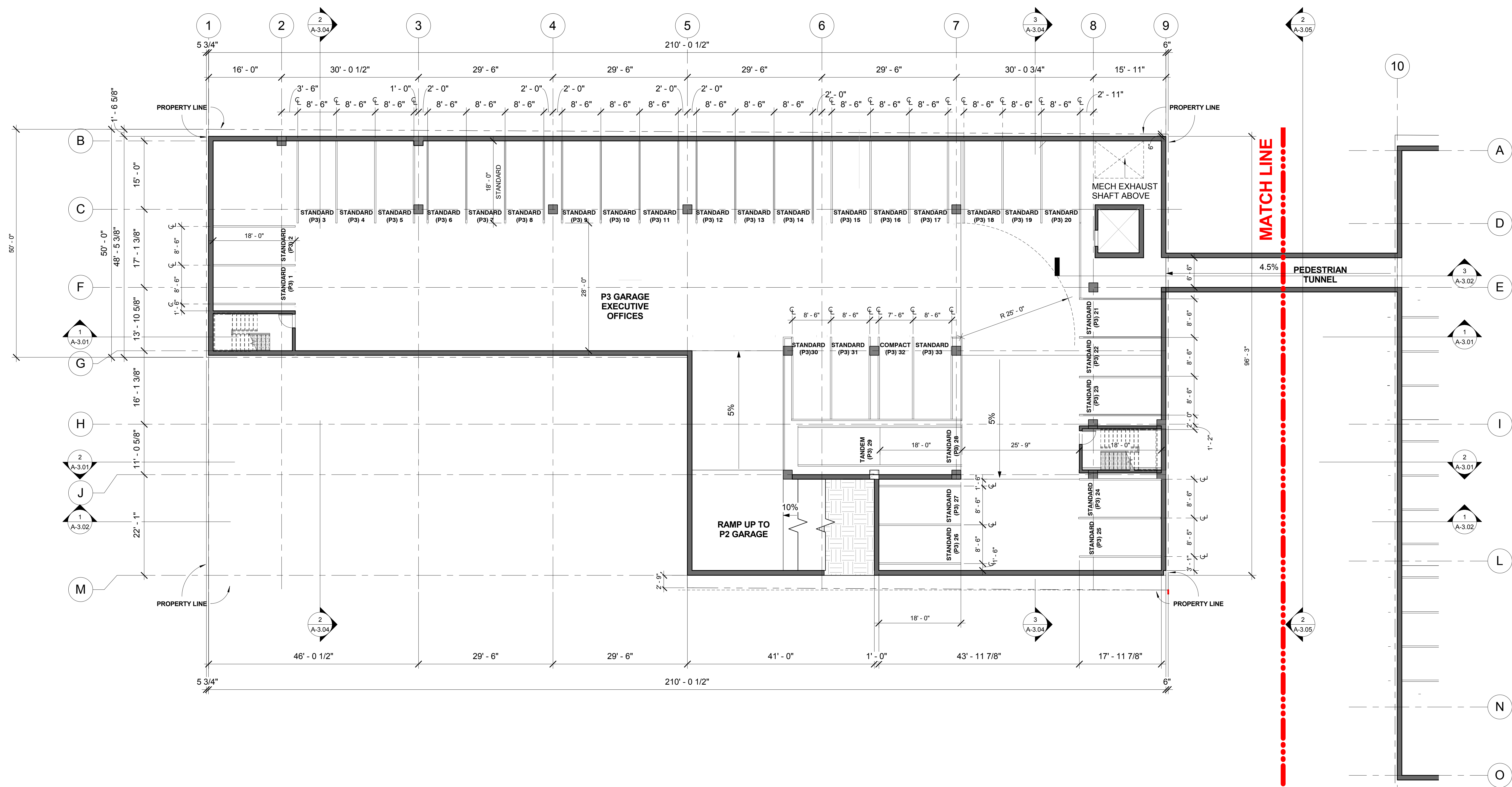
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- C** MIN. 2-HOUR FIRE RATED WALL
- D** MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

PARKING PROVIDED

LEVEL	TYPE	DESCRIPTION	QUANTITY
P1	COMMERCIAL	HC (STANDARD/VAN) REGULAR	04 STALLS 21 STALLS
P1 TOTAL			25 STALLS
P2	COMMERCIAL	REGULAR COMPACT TANDEM	29 STALLS 01 STALLS 01 STALLS
P2 TOTAL			31 STALLS
P3	COMMERCIAL	REGULAR COMPACT TANDEM	31 STALLS 01 STALLS 01 STALLS
P3 TOTAL			33 STALLS
EXECUTIVE OFFICES TOTAL			89 STALLS



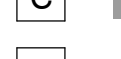

CHECK:
 TOTAL 89 SP. FOR EXECUTIVE OFFICES PROVIDED; 87 STALL **REQUIREMENT MET**
 4 HC SP. PROVIDED FOR EXECUTIVE OFFICES; 4 REQ.; **REQUIREMENT MET**
 TOTAL 4 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. **REQUIREMENT MET**

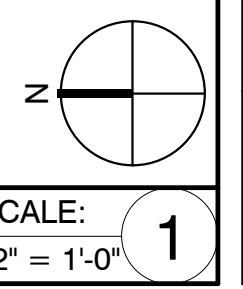
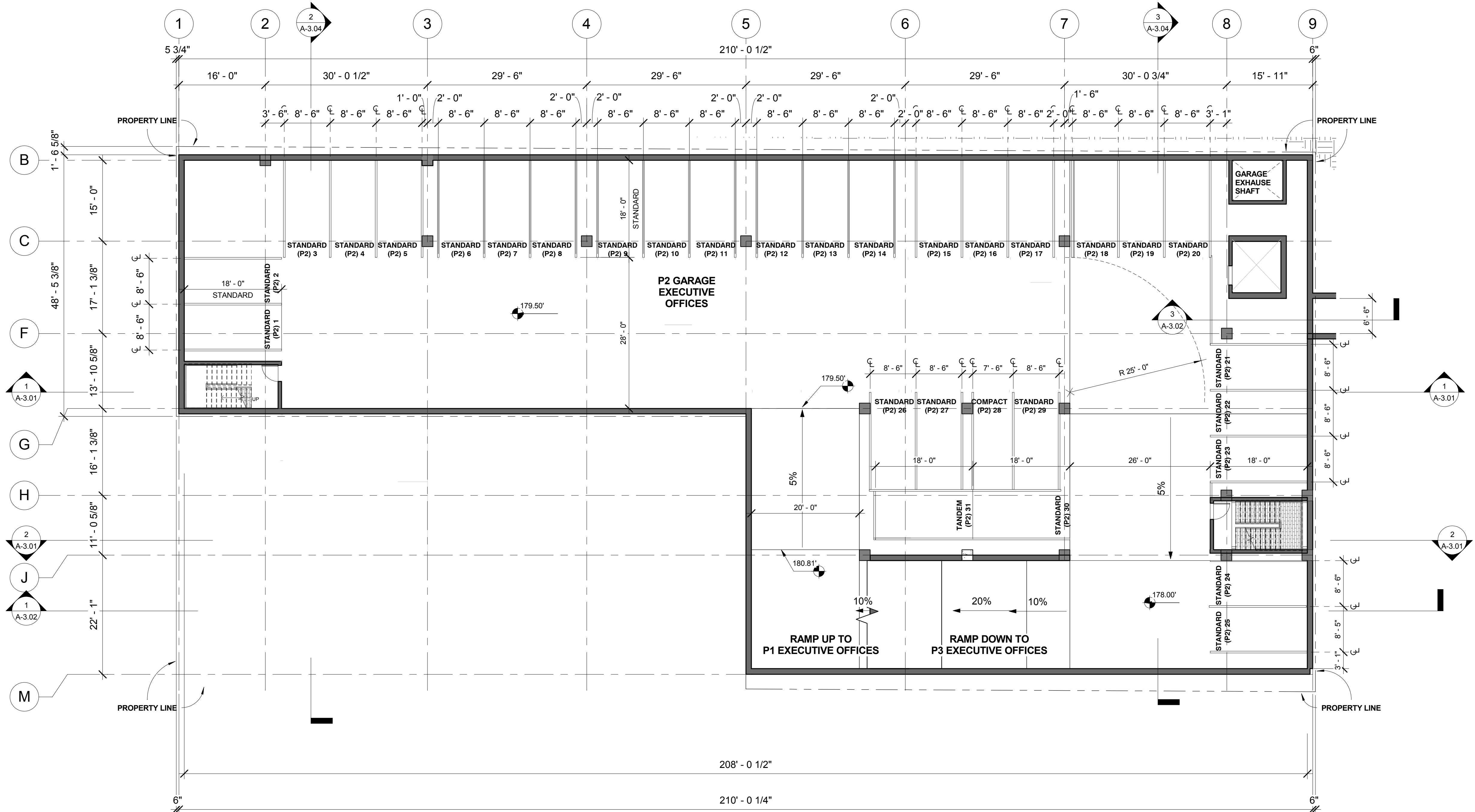


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 By: Author
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LEGENDS	GENERAL NOTES	PARKING	KEYNOTES																																																				
WALL HATCH LEGEND A  MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC B  MIN. 1-HOUR FIRE RATED WALL C  MIN. 2-HOUR FIRE RATED WALL D  MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL		PARKING PROVIDED <table border="1"> <thead> <tr> <th>LEVEL</th> <th>TYPE</th> <th>DESCRIPTION</th> <th>QUANTITY</th> </tr> </thead> <tbody> <tr> <td>P1</td> <td>COMMERCIAL</td> <td>HC (STANDARD/VAN)</td> <td>04 STALLS</td> </tr> <tr> <td></td> <td></td> <td>REGULAR</td> <td>21 STALLS</td> </tr> <tr> <td>P1 TOTAL</td> <td></td> <td></td> <td>25 STALLS</td> </tr> <tr> <td>P2</td> <td>COMMERCIAL</td> <td>REGULAR</td> <td>29 STALLS</td> </tr> <tr> <td></td> <td></td> <td>COMPACT</td> <td>01 STALLS</td> </tr> <tr> <td></td> <td></td> <td>TANDEM</td> <td>01 STALLS</td> </tr> <tr> <td>P2 TOTAL</td> <td></td> <td></td> <td>31 STALLS</td> </tr> <tr> <td>P3</td> <td>COMMERCIAL</td> <td>REGULAR</td> <td>31 STALLS</td> </tr> <tr> <td></td> <td></td> <td>COMPACT</td> <td>01 STALLS</td> </tr> <tr> <td></td> <td></td> <td>TANDEM</td> <td>01 STALLS</td> </tr> <tr> <td>P3 TOTAL</td> <td></td> <td></td> <td>33 STALLS</td> </tr> <tr> <td colspan="3">EXECUTIVE OFFICES TOTAL</td> <td>89 STALLS</td> </tr> </tbody> </table> <p>CHECK: TOTAL 89 SP. FOR EXECUTIVE OFFICES PROVIDED; 87 STALL REQUIREMENT MET 4 HC SP. PROVIDED FOR EXECUTIVE OFFICES; 4 REQ.; REQUIREMENT MET TOTAL 4 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. REQUIREMENT MET</p>	LEVEL	TYPE	DESCRIPTION	QUANTITY	P1	COMMERCIAL	HC (STANDARD/VAN)	04 STALLS			REGULAR	21 STALLS	P1 TOTAL			25 STALLS	P2	COMMERCIAL	REGULAR	29 STALLS			COMPACT	01 STALLS			TANDEM	01 STALLS	P2 TOTAL			31 STALLS	P3	COMMERCIAL	REGULAR	31 STALLS			COMPACT	01 STALLS			TANDEM	01 STALLS	P3 TOTAL			33 STALLS	EXECUTIVE OFFICES TOTAL			89 STALLS	
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P3 TOTAL			33 STALLS																																																				
EXECUTIVE OFFICES TOTAL			89 STALLS																																																				



LEGENDS

GENERAL NOTES

PARKING

KEYNOTES

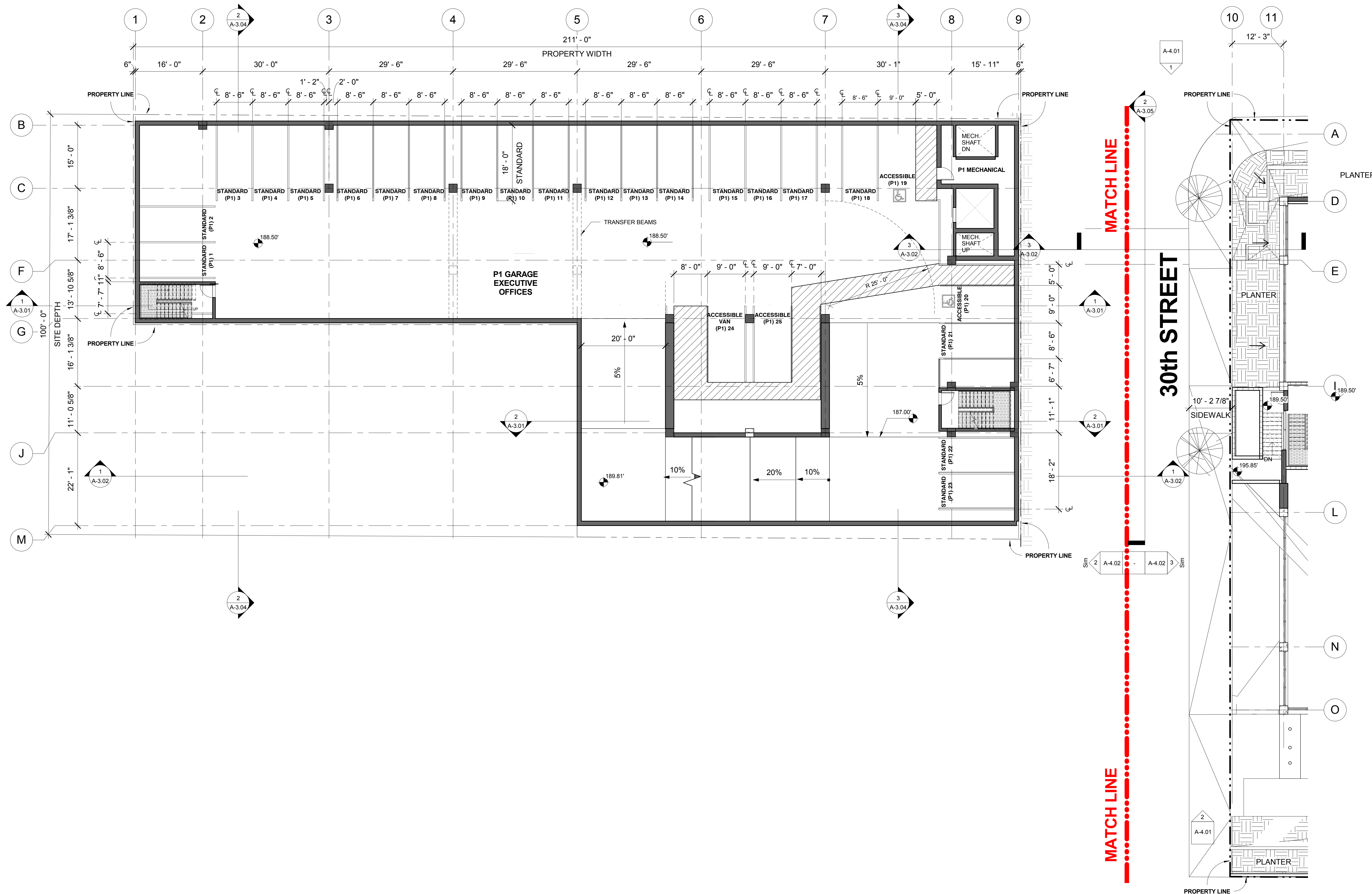
WALL HATCH LEGEND

- A MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B MIN. 1-HOUR FIRE RATED WALL
- C MIN. 2-HOUR FIRE RATED WALL
- D MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

PARKING PROVIDED

LEVEL	TYPE	DESCRIPTION	QUANTITY
P1	COMMERCIAL	HC (STANDARD/VAN)	04 STALLS
		REGULAR	21 STALLS
P1 TOTAL			25 STALLS
P2	COMMERCIAL	REGULAR	29 STALLS
		COMPACT	01 STALLS
		TANDEM	01 STALLS
P2 TOTAL			31 STALLS
P3	COMMERCIAL	REGULAR	31 STALLS
		COMPACT	01 STALLS
		TANDEM	01 STALLS
P3 TOTAL			33 STALLS
EXECUTIVE OFFICES TOTAL			89 STALLS

CHECK:
 TOTAL 89 SP. FOR EXECUTIVE OFFICES PROVIDED; 87 STALL **REQUIREMENT MET**
 4 HC SP. PROVIDED FOR EXECUTIVE OFFICES; 4 REQ. **REQUIREMENT MET**
 TOTAL 4 COMPACT STALLS PROVIDED FOR EXECUTIVE OFFICES; 27 MAX. **REQUIREMENT MET**



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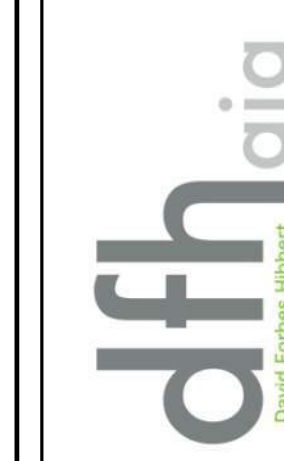
KEYNOTE LEGEND

LEGENDS

WALL HATCH LEGEND

- A [Hatched Box] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Solid Grey Box] MIN. 1-HOUR FIRE RATED WALL
- C [Dark Grey Box] MIN. 2-HOUR FIRE RATED WALL
- D [Black Box] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

1544 20th Street 5th Fl. CA
 93103-394-0045
 info@dfhaid.com
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Skechers
 2901 Pacific Coast Highway
 Hermosa Beach, CA 90254

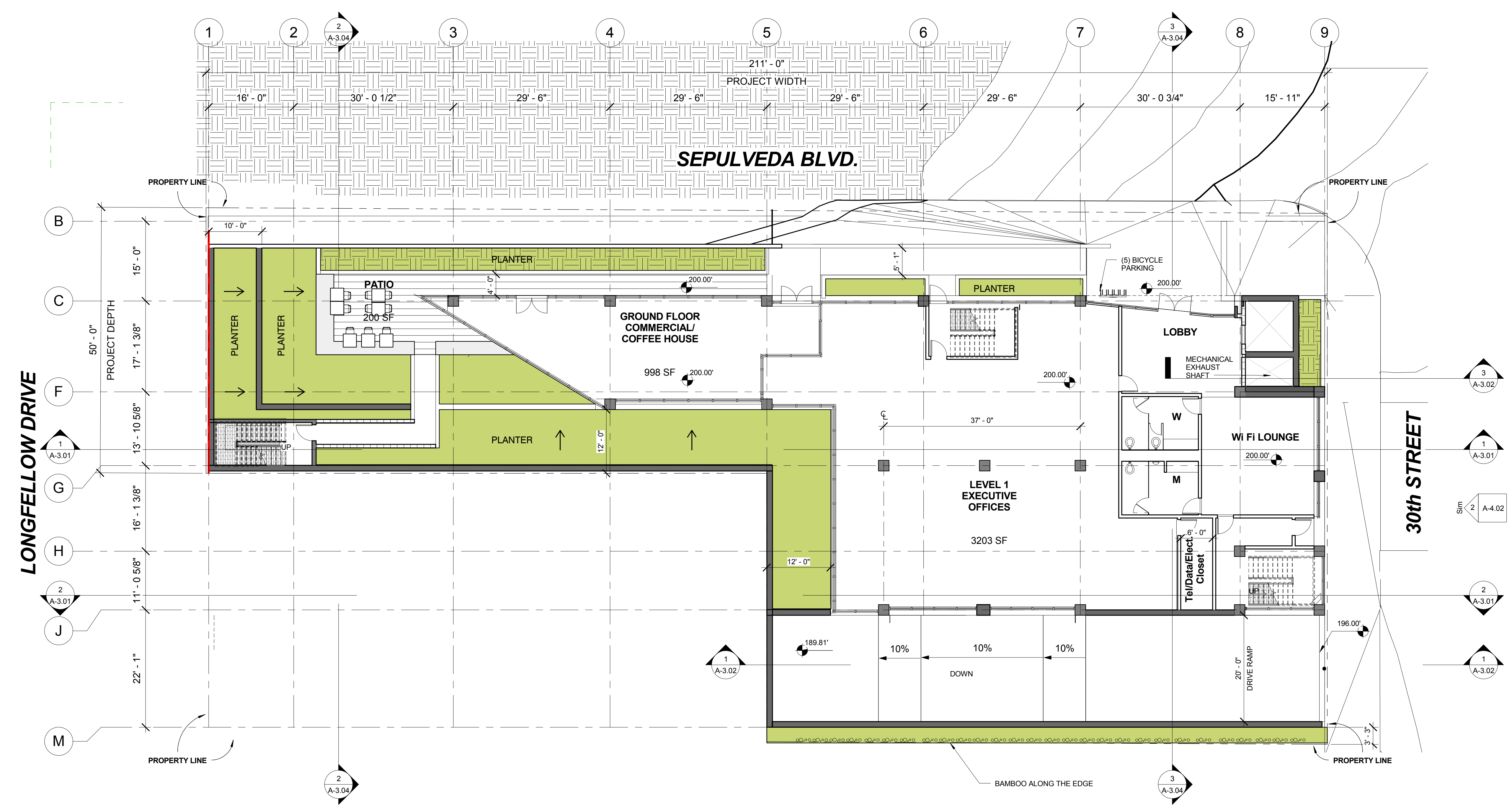
LEVEL 1 - EXECUTIVE OFFICES



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KEYNOTE LEGEND

LEGENDS

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- A [Hatched Box] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Solid Grey Box] MIN. 1-HOUR FIRE RATED WALL
- C [Dark Grey Box] MIN. 2-HOUR FIRE RATED WALL
- D [Black Box] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

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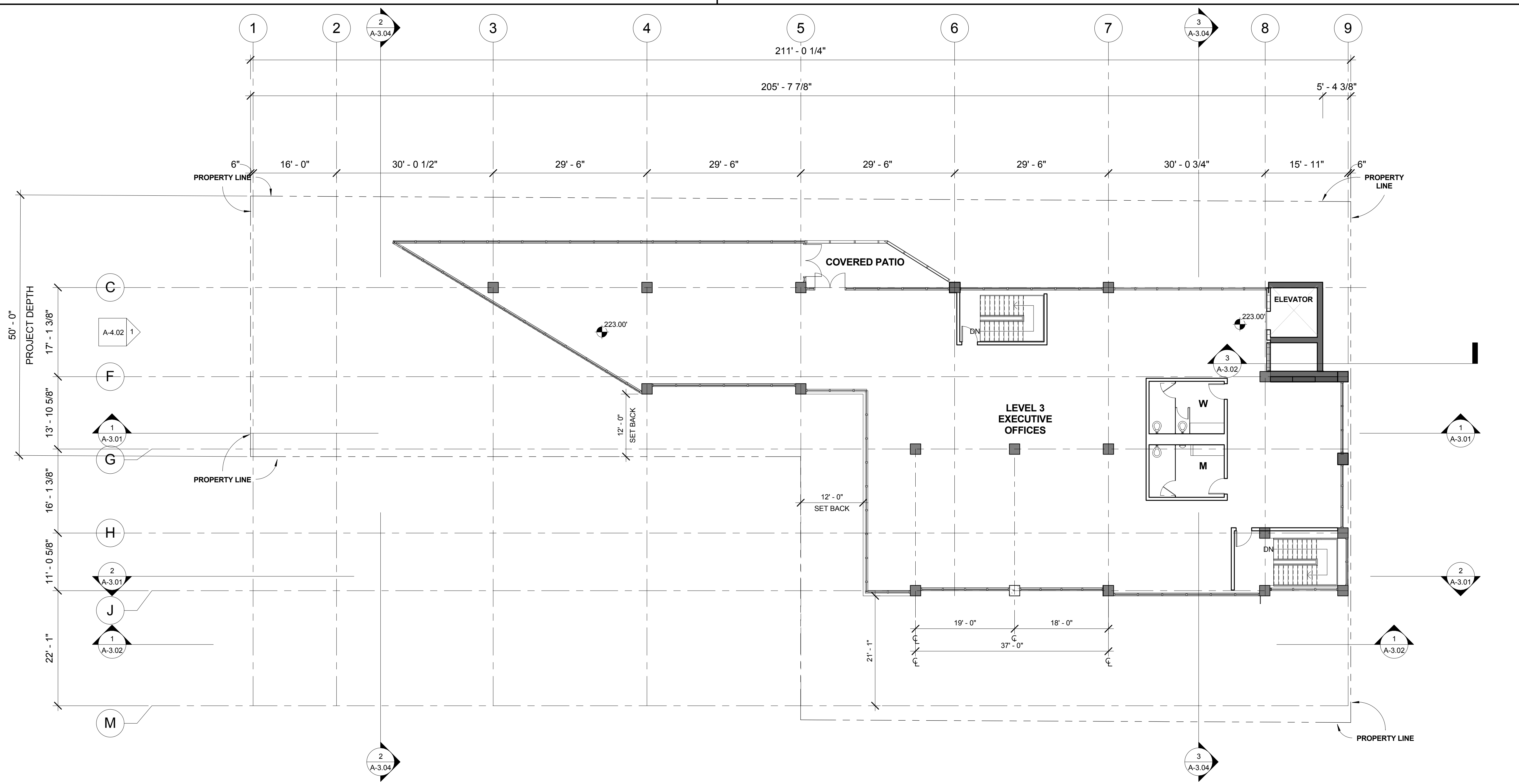
LEVEL 3 - EXECUTIVE OFFICES



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KEYNOTE LEGEND

LEGENDS

WALL HATCH LEGEND

- A [Hatched Box] MIN. 1-HOUR FIRE RATED WALL W/ MIN. SOUND RATING OF 50 STC
- B [Solid Grey Box] MIN. 1-HOUR FIRE RATED WALL
- C [Dark Grey Box] MIN. 2-HOUR FIRE RATED WALL
- D [Black Box] MIN. 3-HR NONCOMBUSTIBLE FIRE RATED WALL

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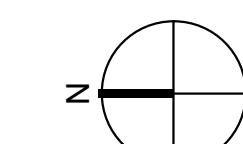
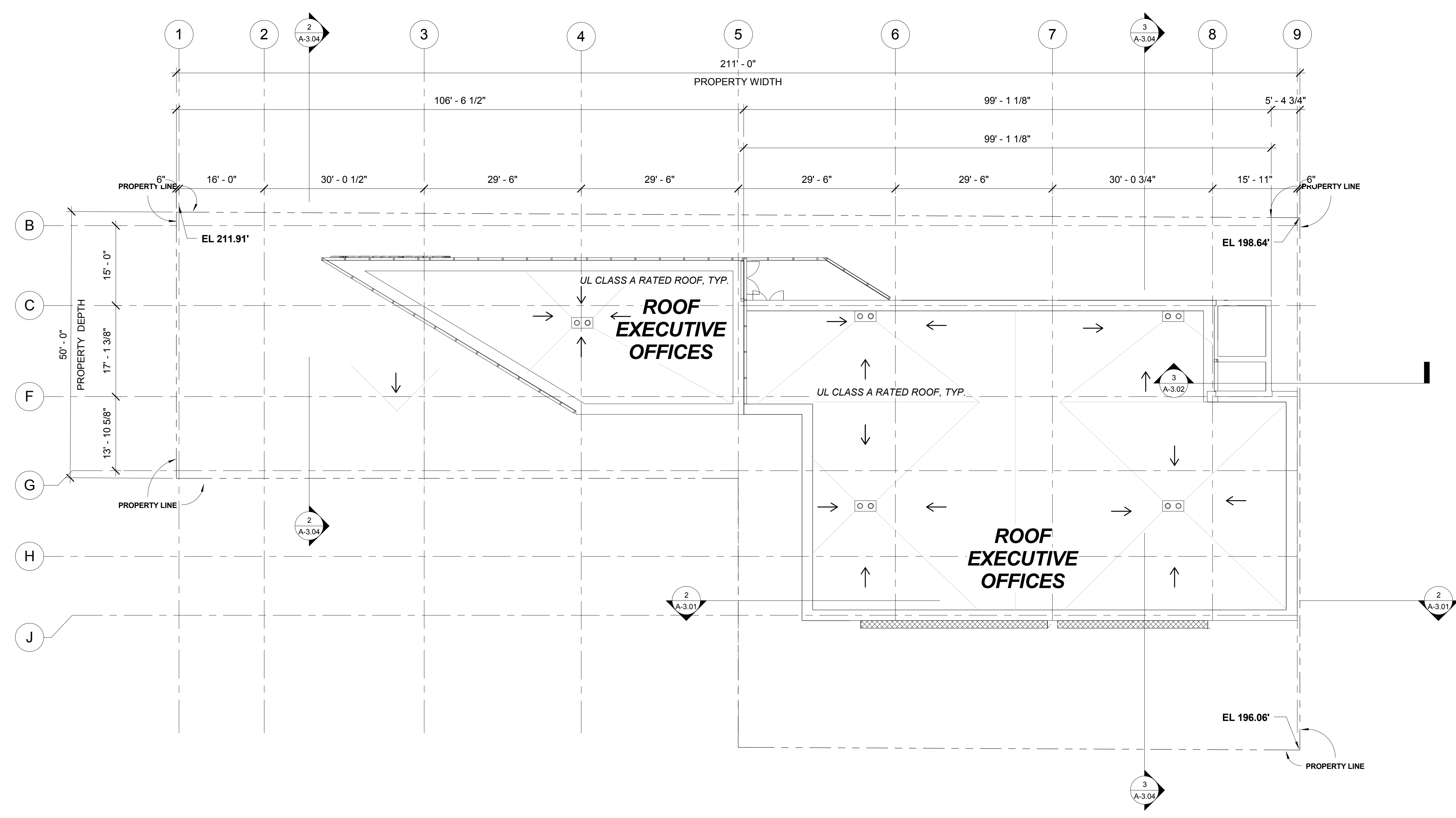
ROOF PLAN - EXECUTIVE
 OFFICES



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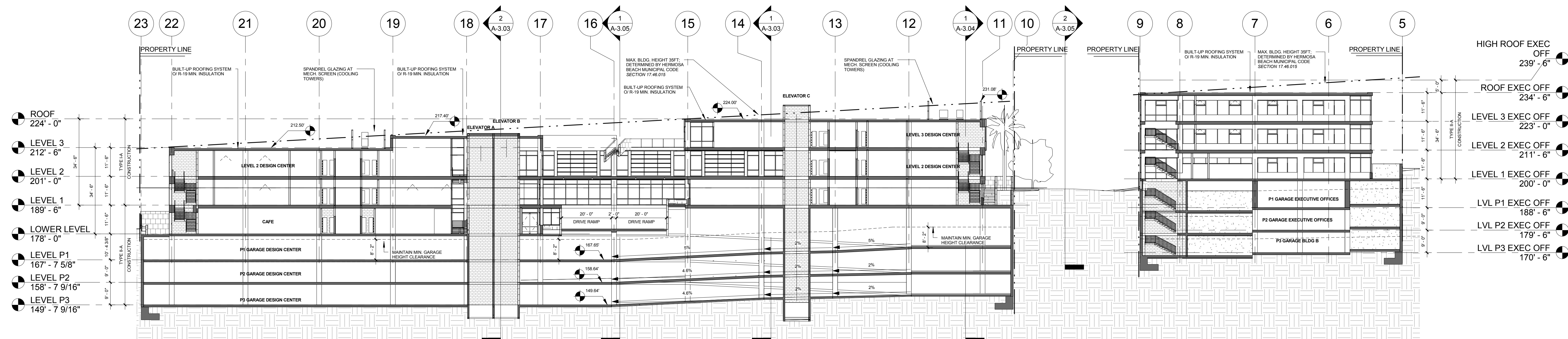
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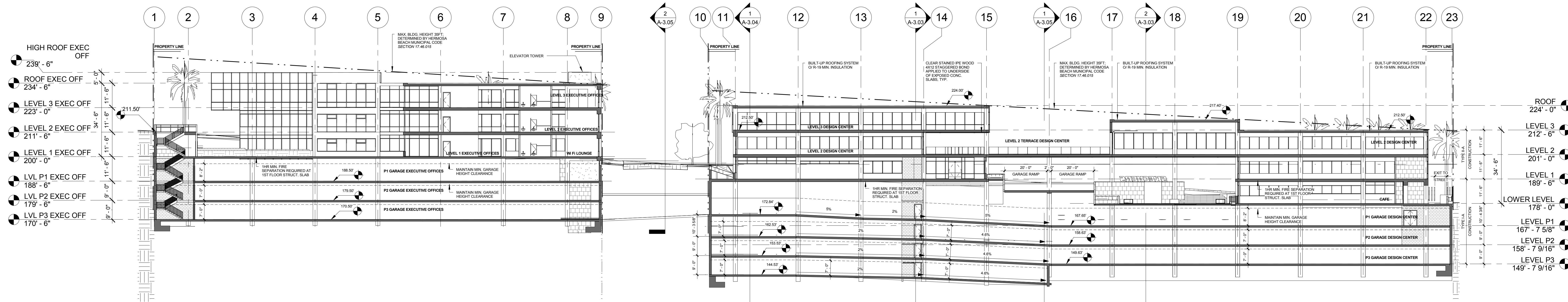
LEGENDS

WALL HATCH LEGEND

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- B MIN. 1-HOUR FIRE RATED WALL
- C MIN. 2-HOUR FIRE RATED WALL
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Longitudinal - West Facing SCALE: 1" = 20'-0" 2

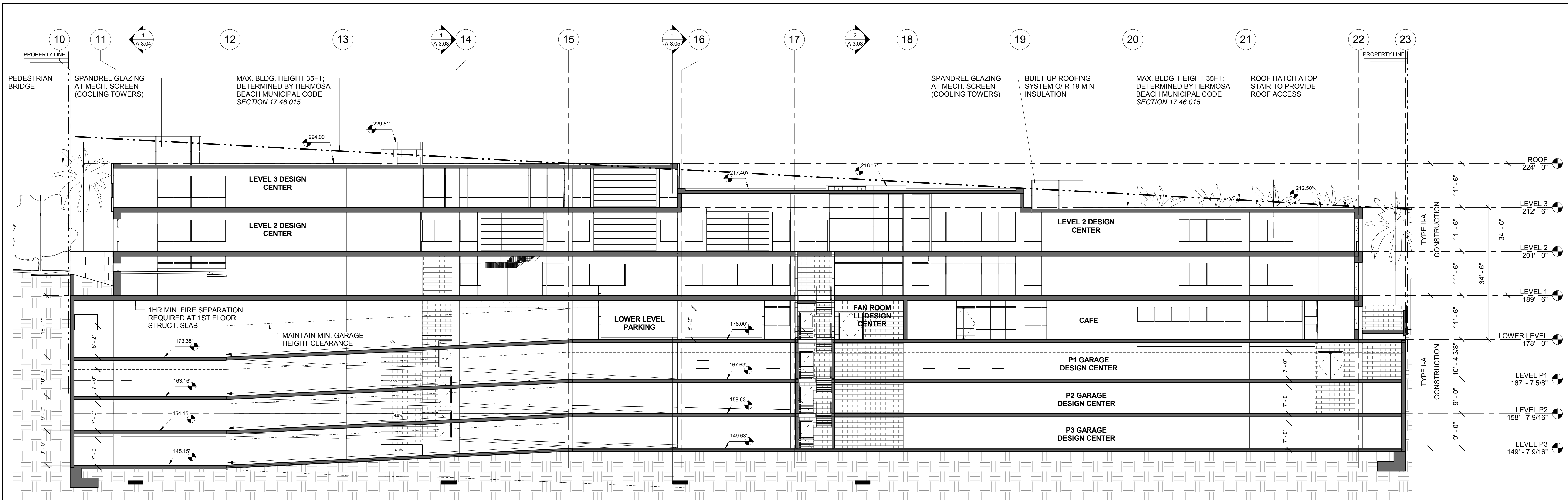


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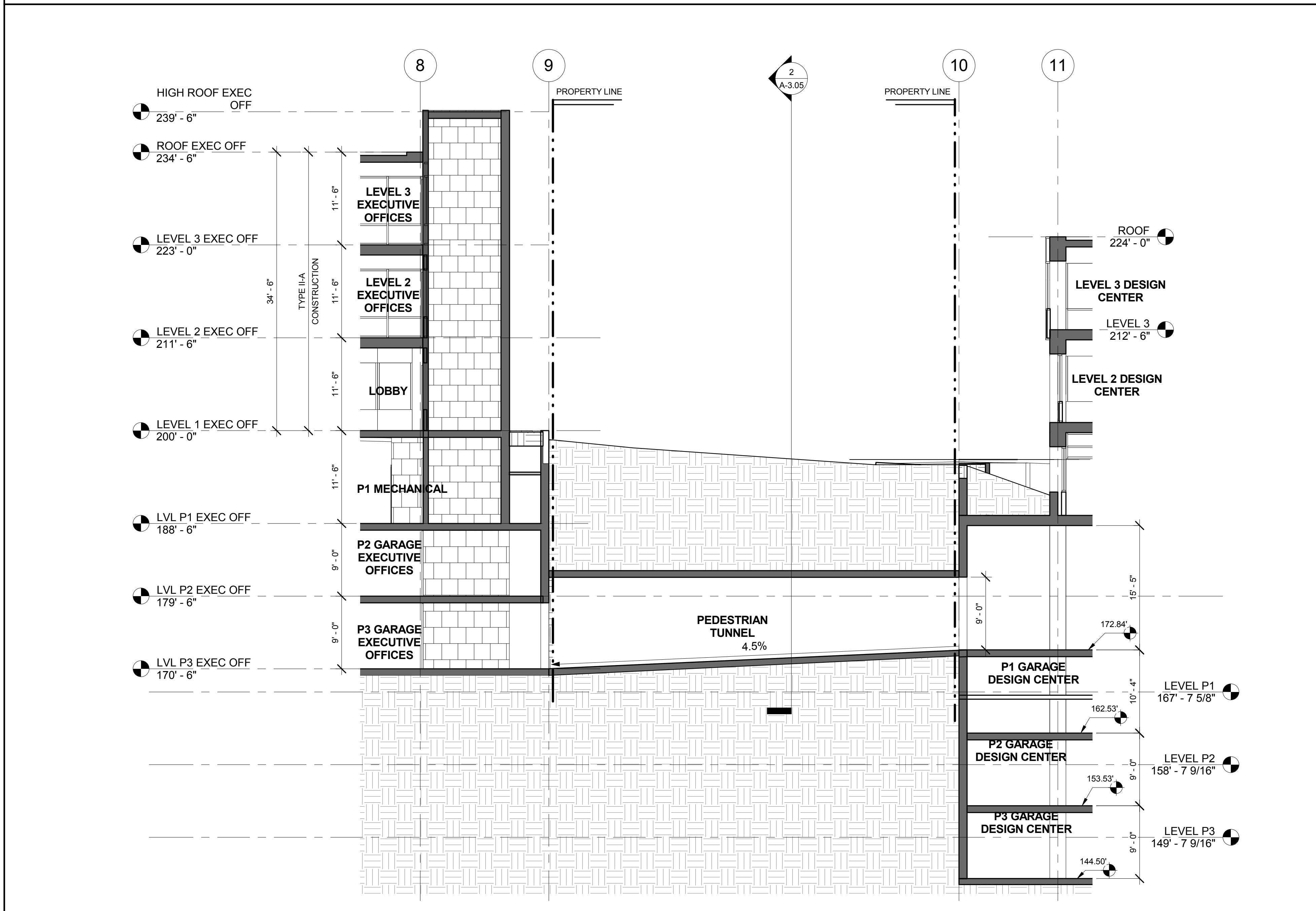


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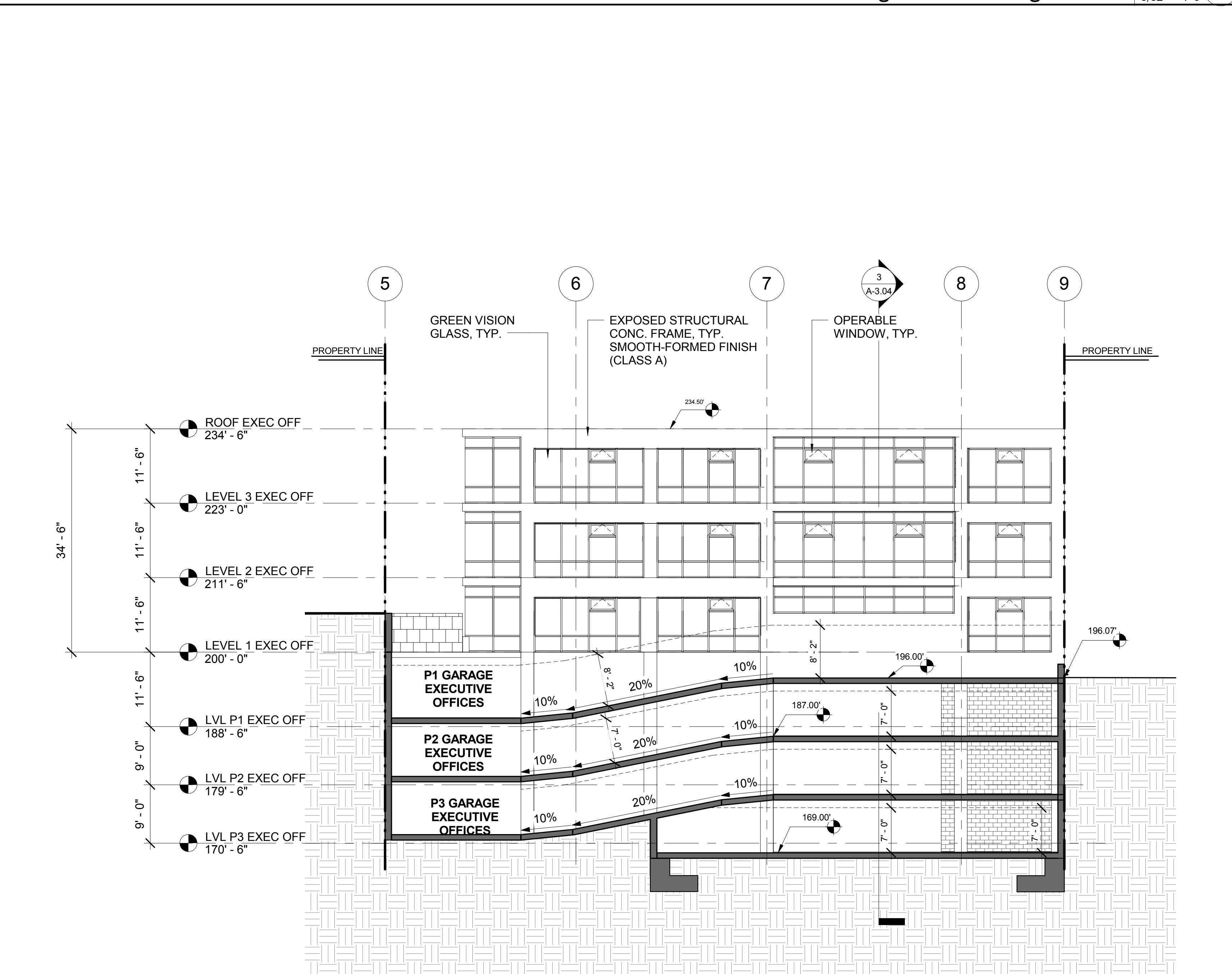
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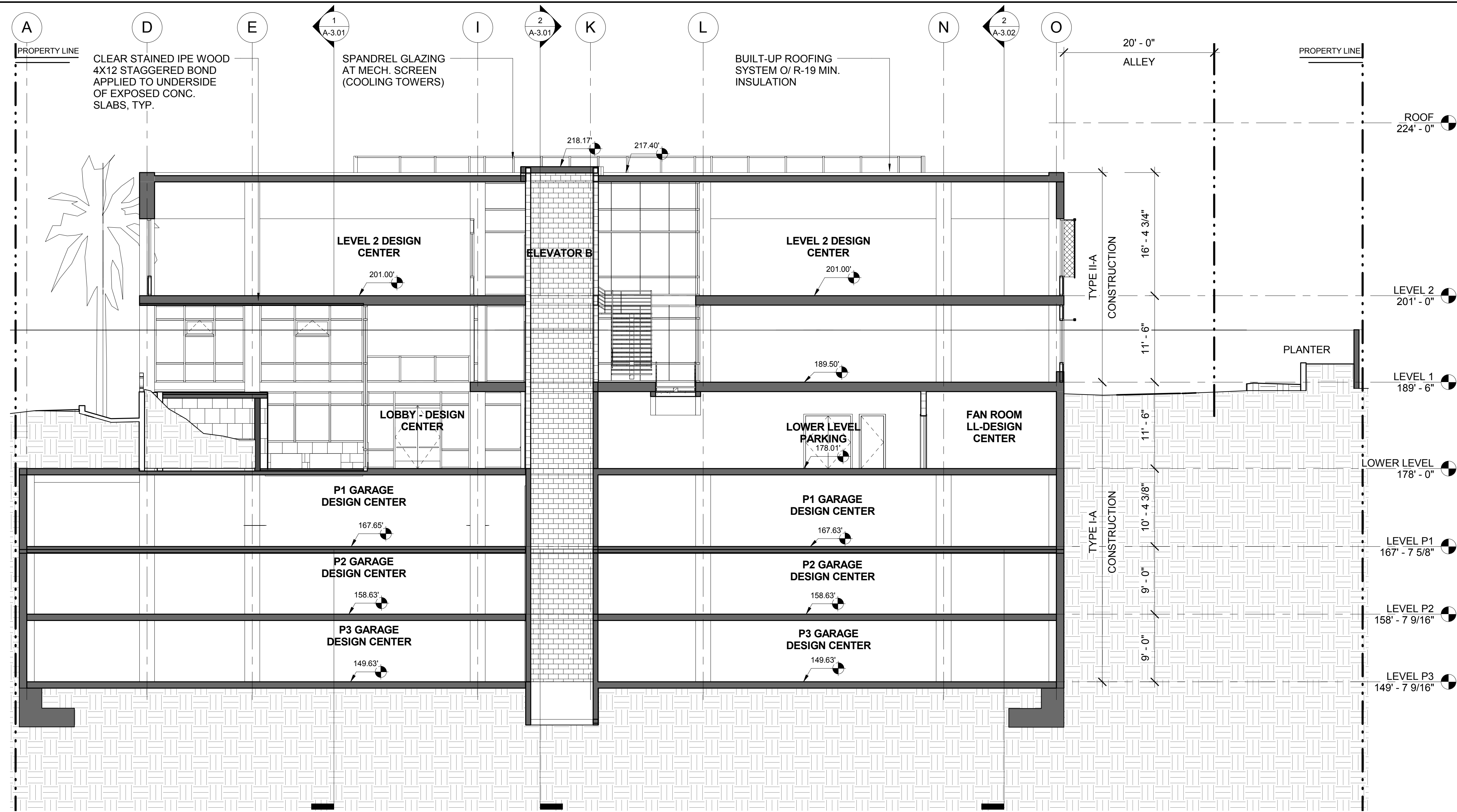
Longitudinal - Design Center SCALE: 3/32" = 1'-0" 2



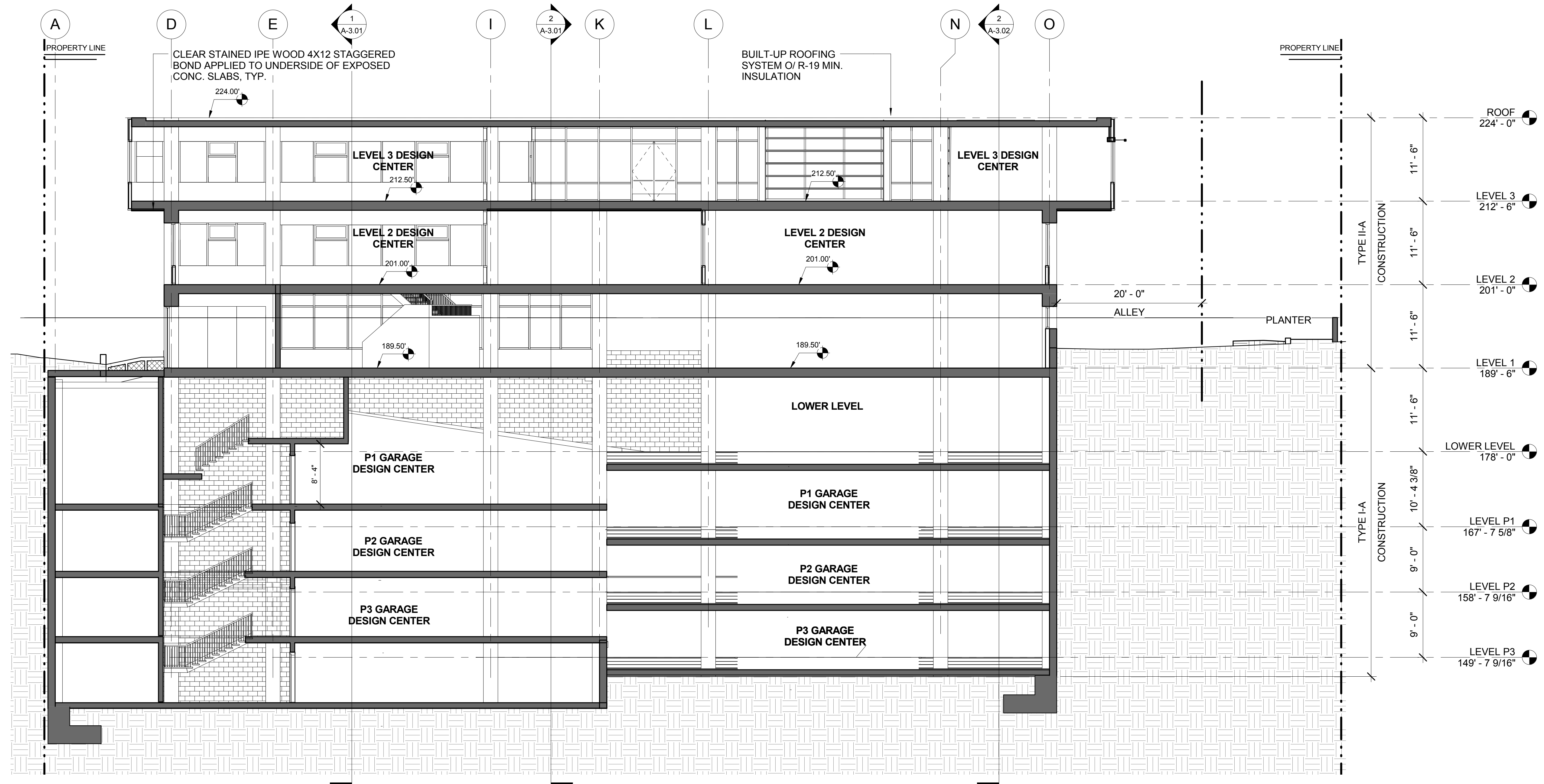
Longitudinal - Tunnel SCALE: 1/8" = 1'-0" 3



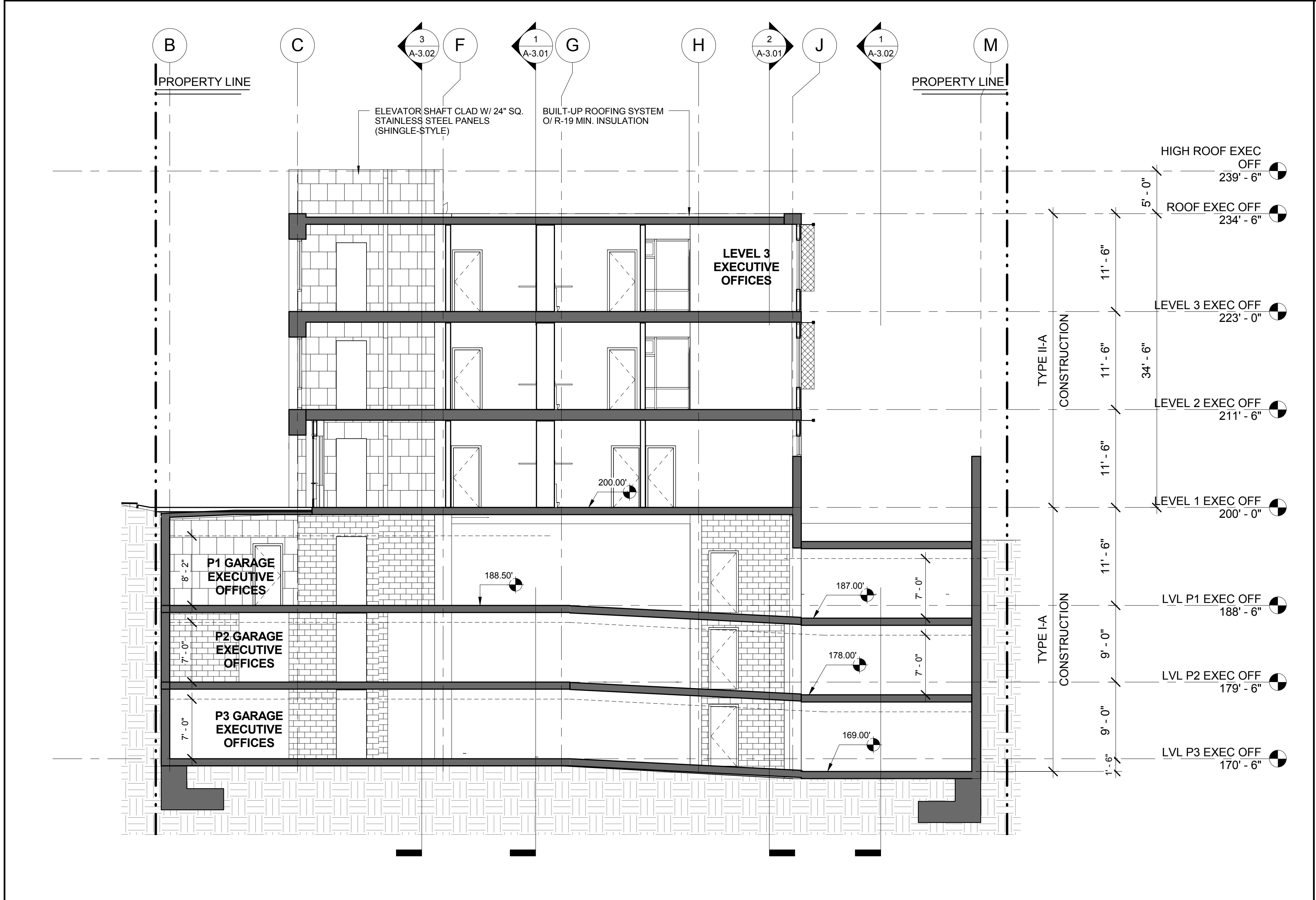
Longitudinal - Executive Offices SCALE: 3/32" = 1'-0" 1



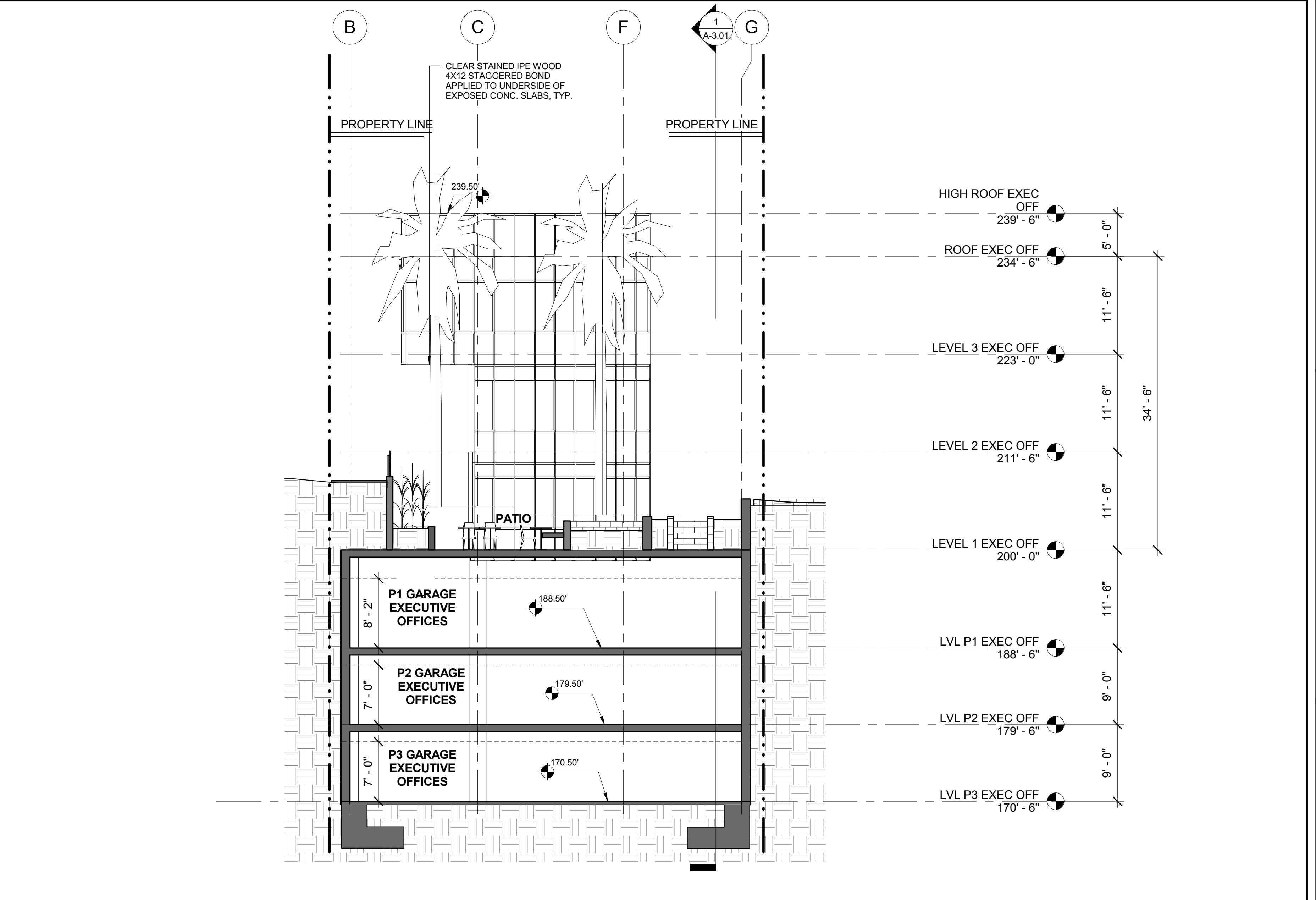
Transverse - Design Center @ Grid 17 SCALE: 1/8" = 1'-0" 2



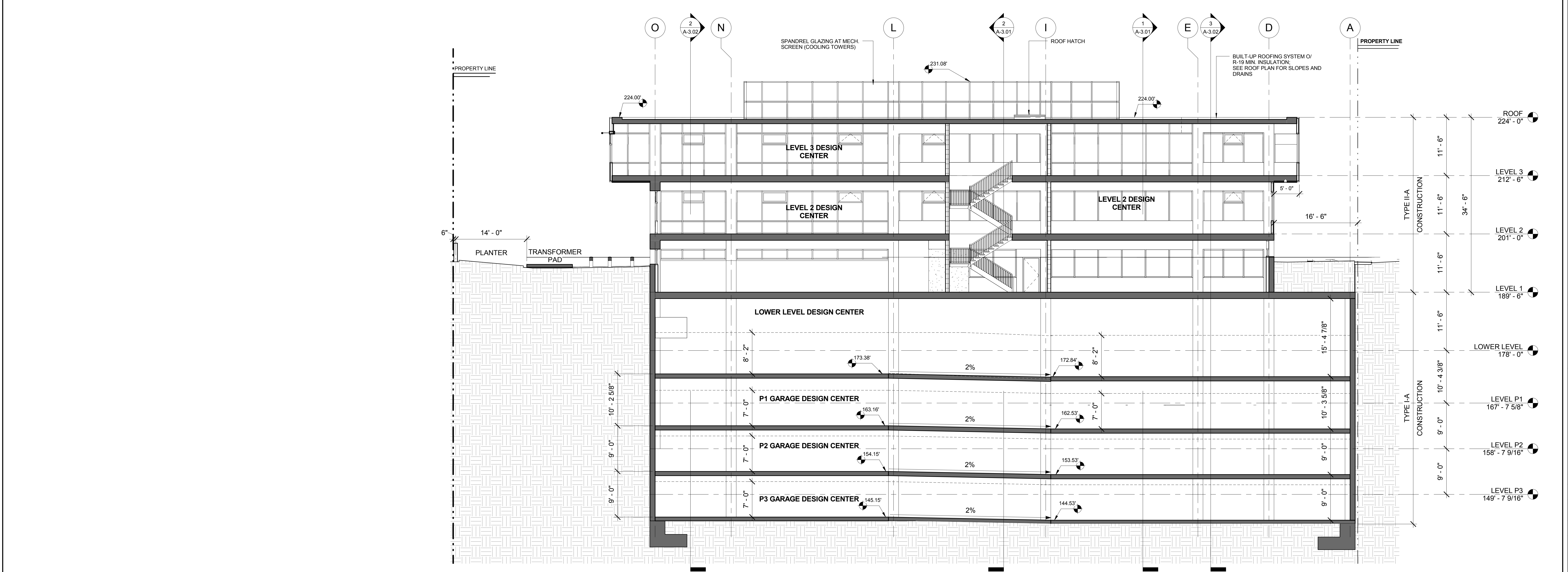
Transverse - Design Center @ Grid 14 SCALE: 1/8" = 1'-0" 1



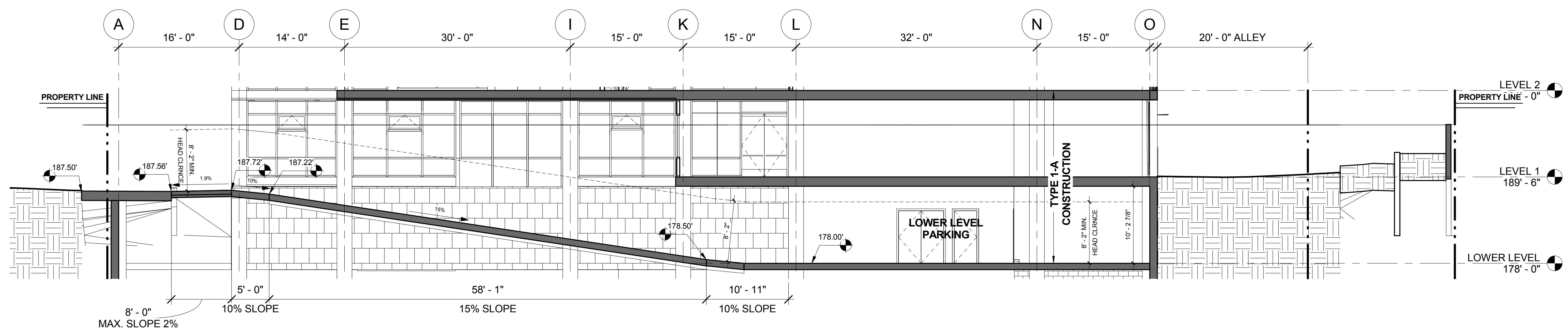
Transverse - Building B @ Grid 7 SCALE: 1/8" = 1'-0" 3



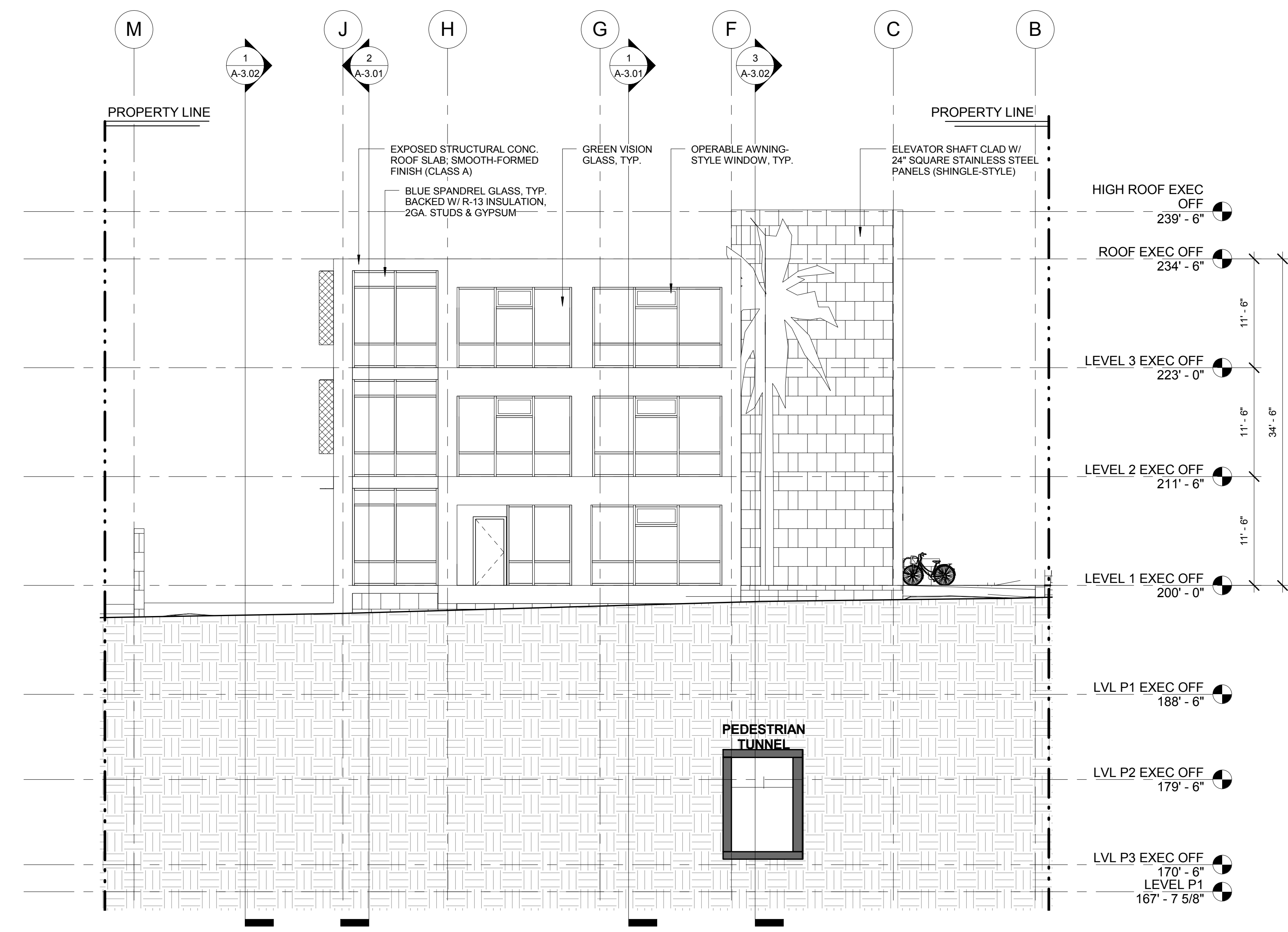
Transverse - Executive Offices @ Grid 2 SCALE: 1/8" = 1'-0" 2



Transverse - Design Center @ Grid 11 SCALE: 1/8" = 1'-0" 1



Transverse - Garage Entry Ramp SCALE: 1/8" = 1'-0" 1



Transverse - Tunnel SCALE: 1/8" = 1'-0" 2

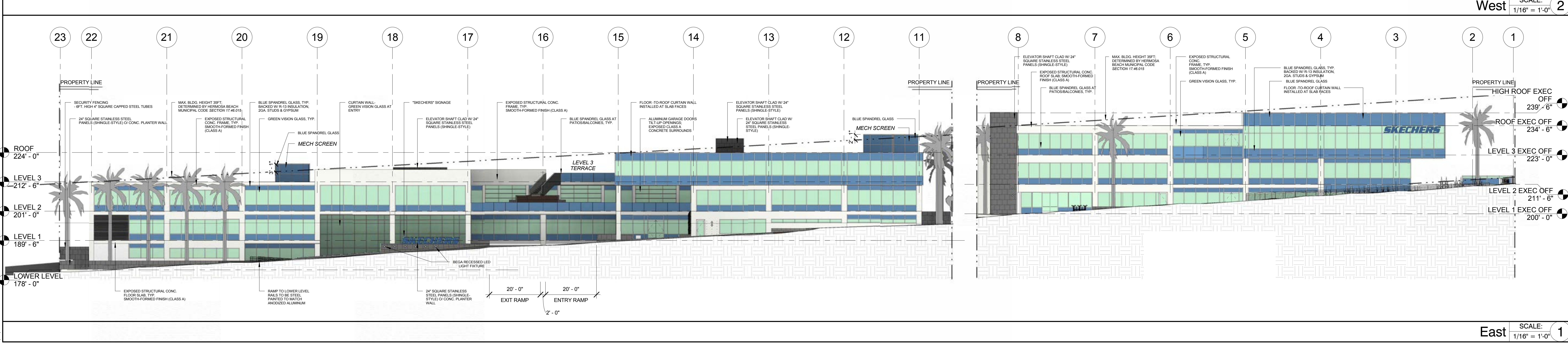
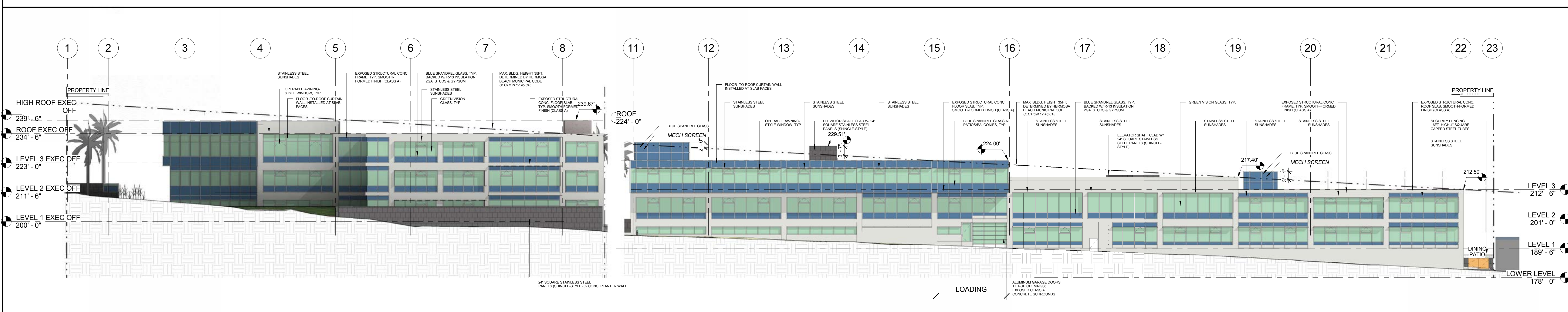
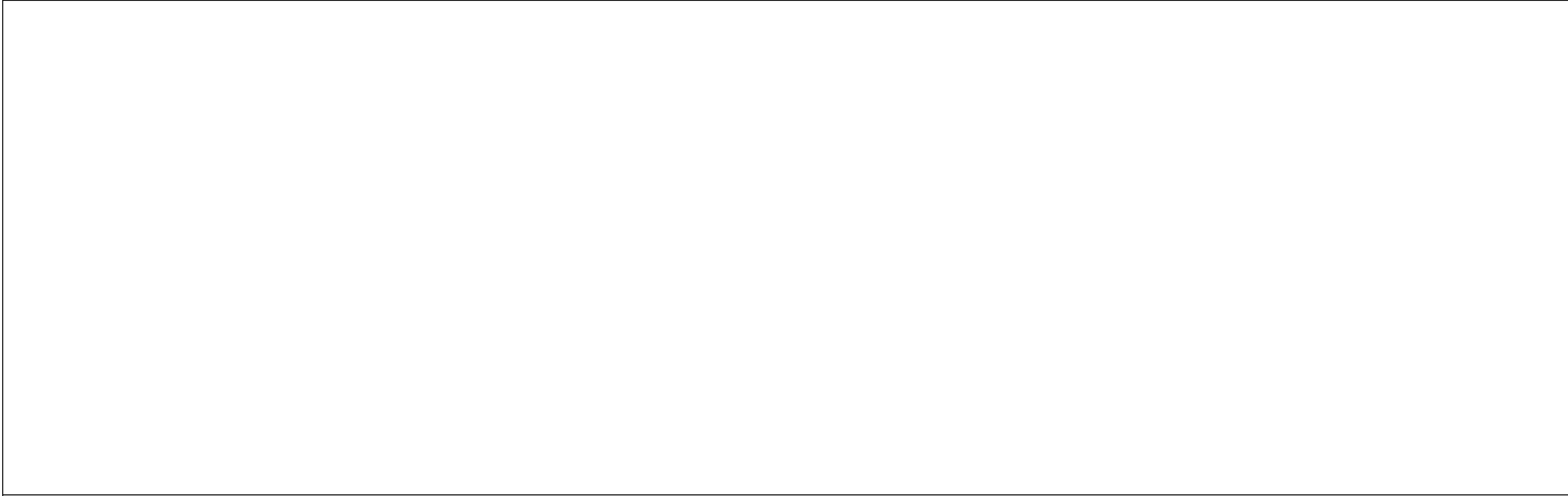


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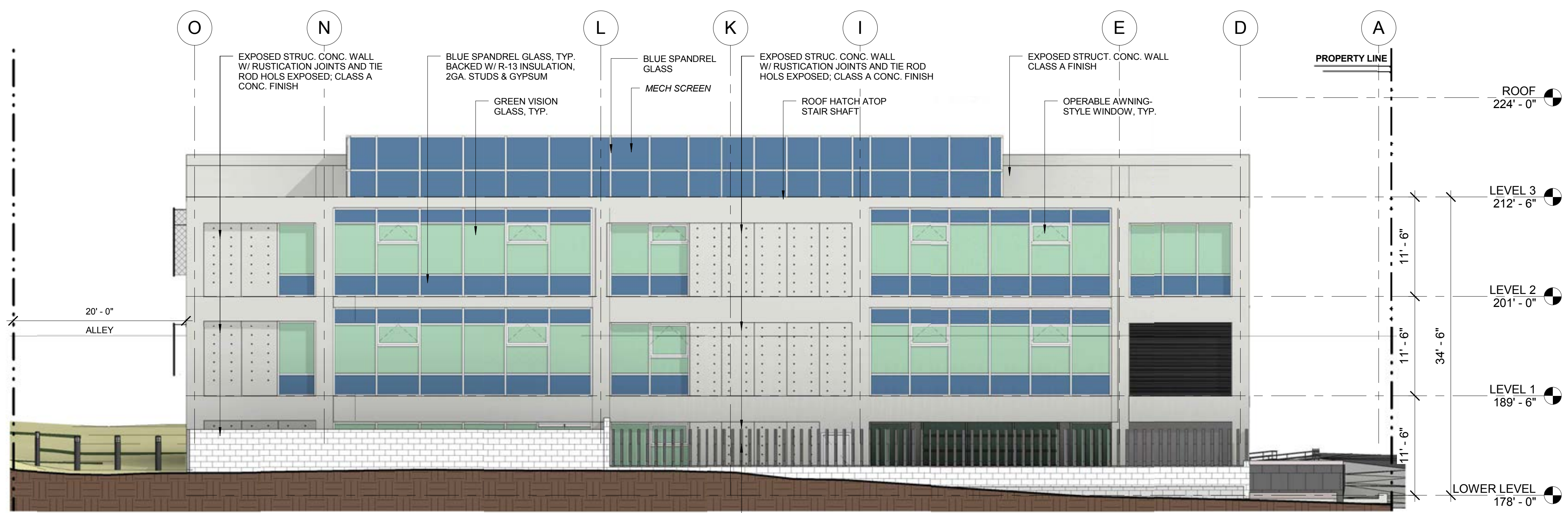
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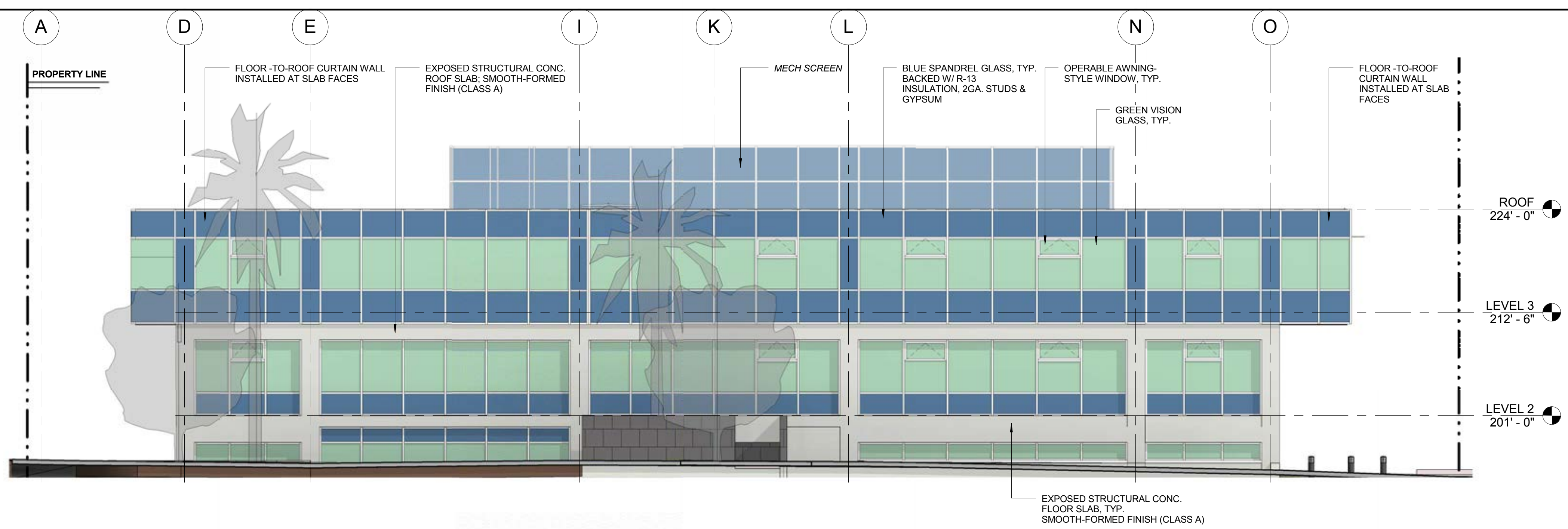
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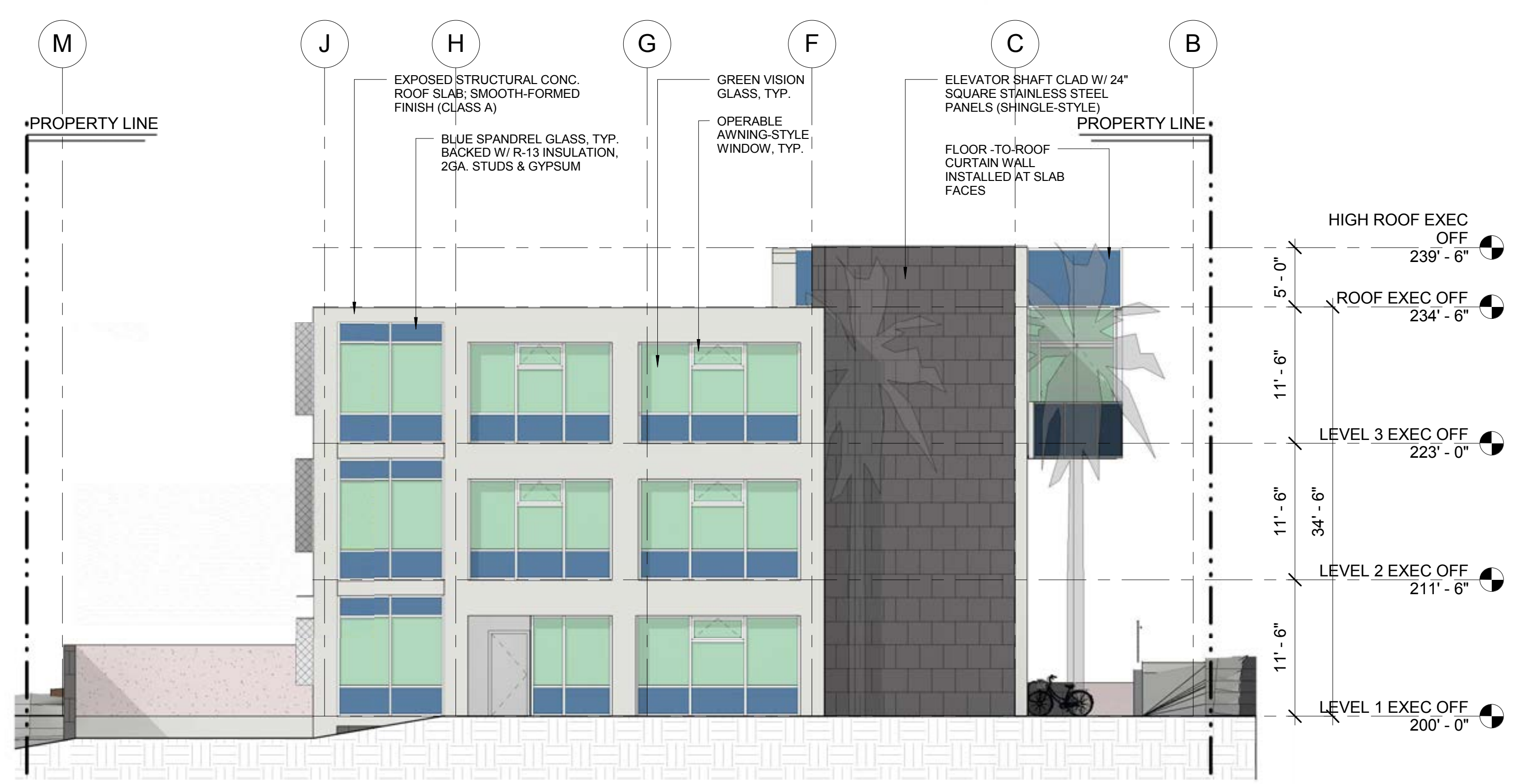
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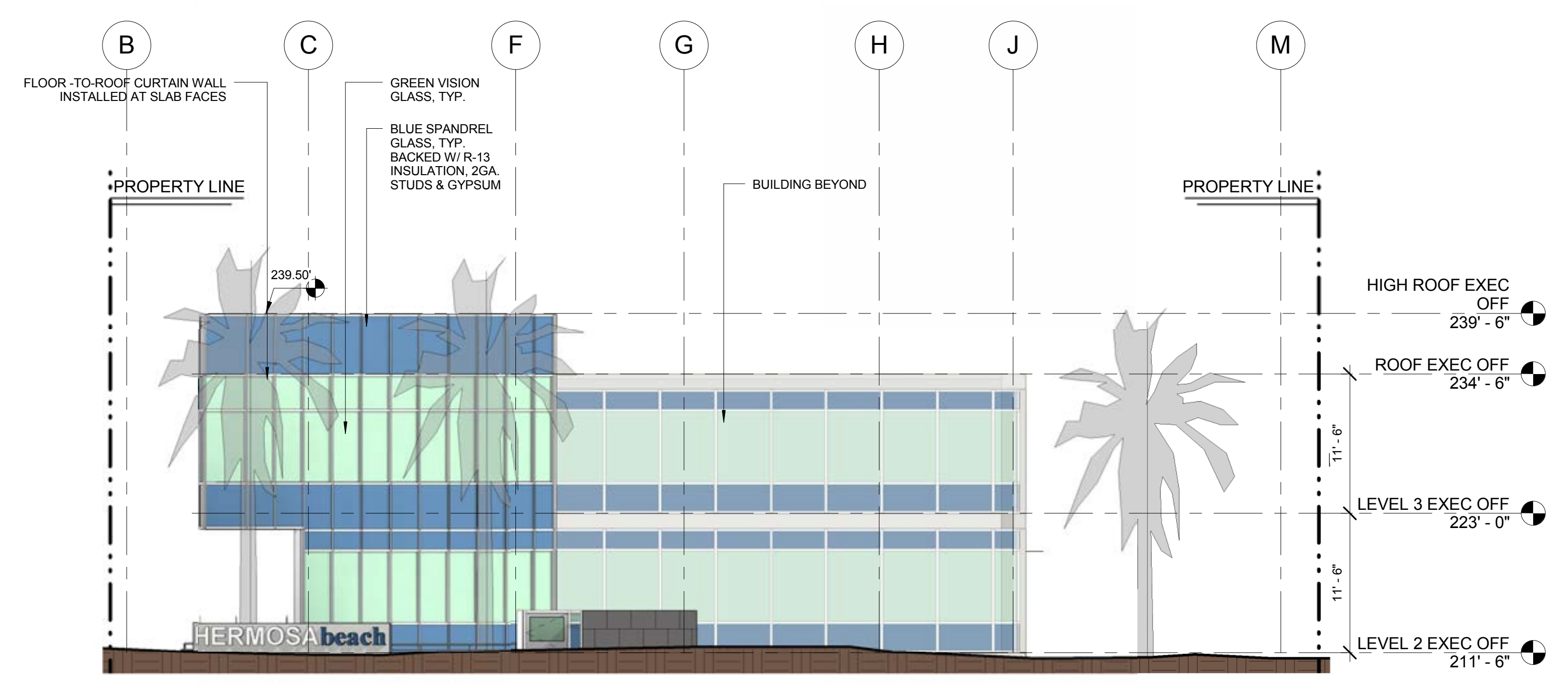
South - Design Center SCALE: 1/8" = 1'-0" 4



North - Design Center SCALE: 1/8" = 1'-0" 3



South - Executive Offices SCALE: 1/8" = 1'-0" 2



North - Executive Offices SCALE: 1/8" = 1'-0" 1



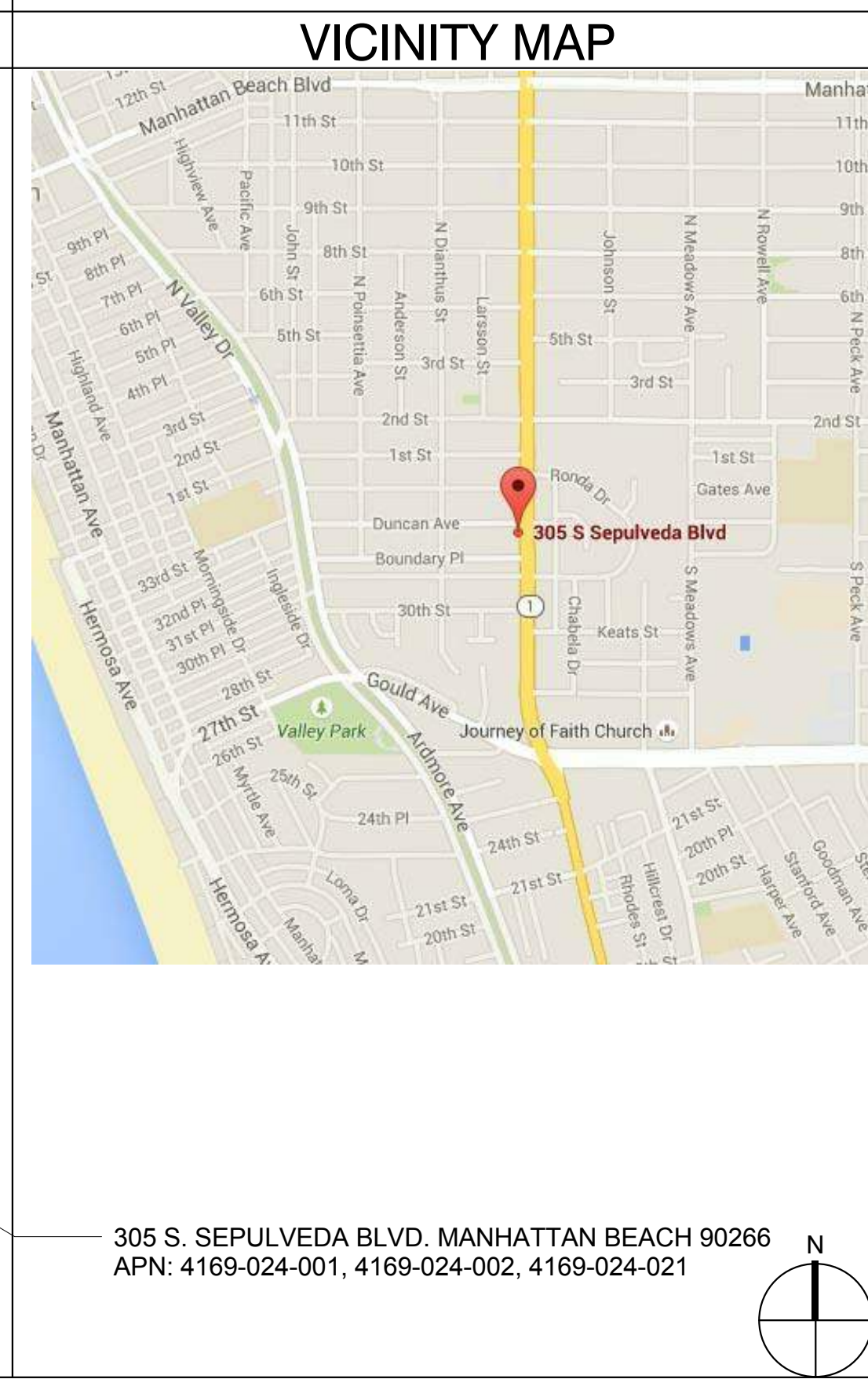
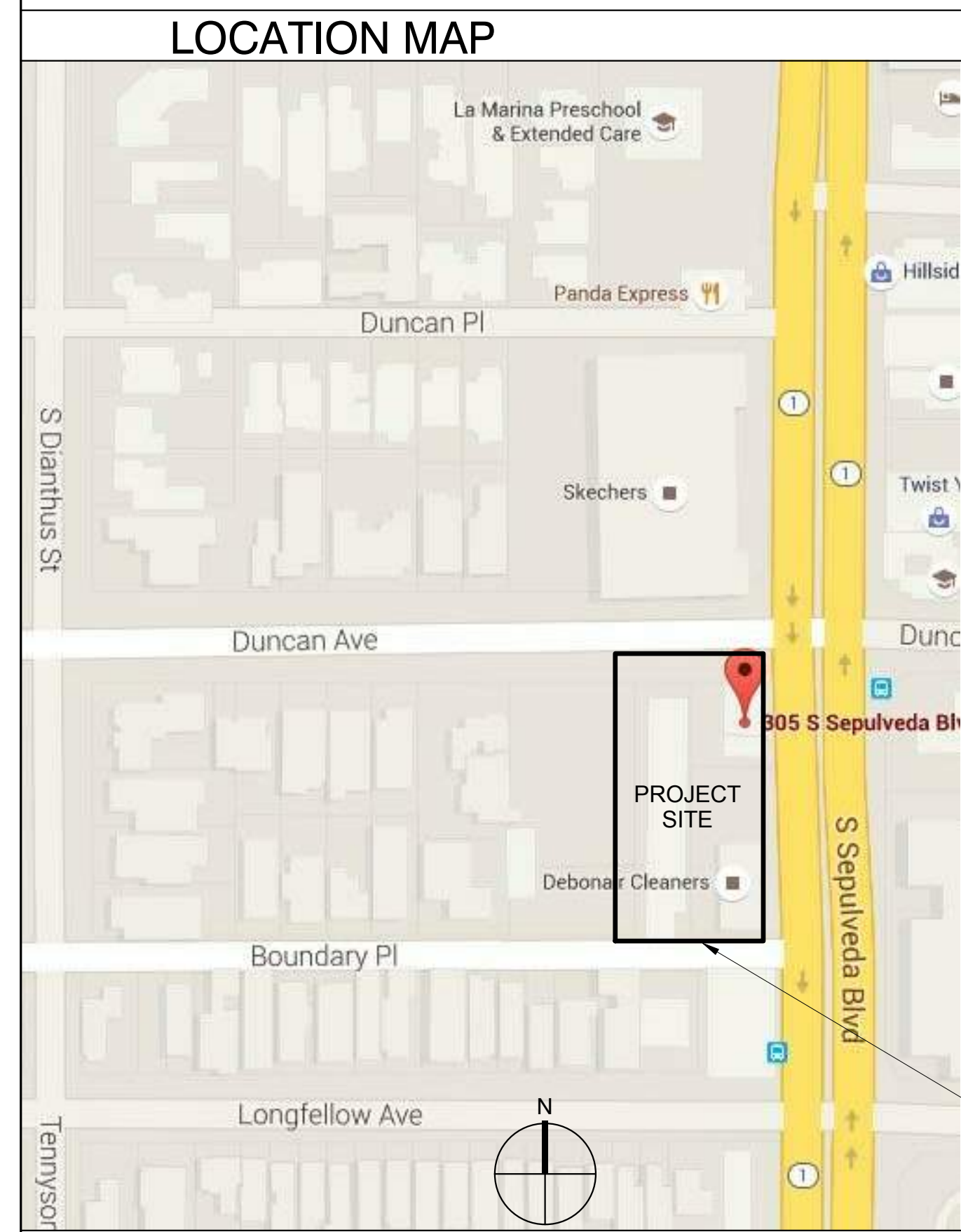
ABBREVIATIONS	
A/C	AIR CONDITIONING
A.C.	ASPHALTIC CONCRETE PAVING
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BD.	BOARD
B.L.D.G.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
C.L.	CENTER LINE
C.L.G.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
COMM.	COMMERCIAL
CONC.	CONCRETE
CONC. BLK.	CONCRETE BLOCK
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.S.	DOWN SPOUT
D.TL.	DETAIL
DWG.	DRAWING
EA.	EACH
E.G.	EXISTING GRADE
ELEC.	ELECTRIC
ELEV.	ELEVATION
EQ.	EQUAL
EXIST.	EXISTING
EXT.	EXTERIOR
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FT.	FEET
FTG.	FOOTING
G.	GAS
GA.	GAUGE
GALV.	GALVANIZED
GL.	GLASS
GYP.	GYPSON
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HD.	HEAD
HR.	HARD ROCK
H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING
H.W.	HOT WATER
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M/C	MEDICINE CABINET
MECH.	MECHANICAL
MFG.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
N.G.	NATURAL GRADE
N.I.C.	NOT IN CONTRACT
N.O.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
P.A.	PLANTING AREA
P.C.	PRE-CAST CONCRETE
P.P.	POWER POLE
PL.	PLATE
P.L.	PROPERTY LINE
P.L.W.D.	PLYWOOD
PLMB.	PLUMBING
PR.	PAIR
PT.	PAINT
R.	RISER
R.A.	RETURN AIR
R.H.	RADIUS
R.D.	ROOF DRAIN
RECP.	RECEPTACLE
REF.	REFRIGERATOR
REINF.	REINFORCED
RECD.	REQUIRED
REV.	REVISION
RF.	ROOF
RM.	ROOM
R.O.	ROUGH OPENING
S.A.	SUPPLY AIR
S.C.	SOLID CORE
S.D.	STORM DRAIN
S.F.	SQUARE FEET
SHT.	SHEET
SHTG.	SHEATHING
SHT. MTL.	SHEET METAL
SIM.	SIMILAR
S/S	STAINLESS STEEL
STL.	STEEL
STR.	STRUCTURAL
SUBFLR.	SUB-FLOOR
SUSP.	SUSPENDED
T.	TREAD
T & G	TONGUE AND GROOVE
THK.	THICK
T.O.	TOP OF
TYP.	TYPICAL
U.G.	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE
U.O.N.	UNLESS OTHERWISE NOTED
UNF.	UNFINISHED
W.	WATER
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
W.I.	WROUGHT IRON
W/O	WITHOUT
W.O.	WHERE OCCURS
W.P.	WATER PROOF
W.R.	WEATHER RESISTANT
W.W.M.	WELDED WIRE MESH

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
(E)	EXISTING CONDITION
(D)	CONDITION TO BE DEMOLISHED
(N)	NEW CONDITION
	ELEVATION LOCATION
268	EXISTING CONTOUR LINE
320	NEW CONTOUR LINE
○	MATCH LINE, SHADED PORTION SIDE SHOWN
○	LEVEL LINE, CONTROL POINT OR DATUM
---	PROPERTY LINE, BOUNDARY LINES
---	CENTER LINE, EXTERIOR ELEVATION LINES
---	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
---	OUTLINE OF HIDDEN OBJECTS BELOW
---	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION REFERENCE DRAWING NUMBER
1	DETAIL NUMBER
A-1	REFERENCE DRAWING NUMBER
	WALL SECTION REFERENCE DRAWING NUMBER
A-1.11	ELEVATION NUMBER REFERENCE DRAWING NUMBER
101	DOOR NUMBER
A	WALL REFERENCE
11	WINDOW NUMBER
A	MATERIAL REFERENCE
A	COLOR REFERENCE
12	EQUIPMENT NUMBER
↑	REVISION
N	PROJECT NORTH (MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
1	REFERENCE GRIDS
A	REFERENCE GRIDS

PROJECT DIRECTORY		
APPLICANT: SEPULVEDA BOULEVARD PROPERTIES, LLC (SKECHERS USA) 228 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA 90266 CONTACT: TIM BALL TEL: (310) 318-3100 x 1488	CIVIL ENGINEER: KREUZER CONSULTING 320 MAIN ST., SEAL BEACH, CA 90740 TEL: (714) 856-0160	MECHANICAL/PLUMBING/ELECTRICAL ENGINEER: GLUMAC 707 Wilshire Blvd., 23rd Floor, Los Angeles, CA 90017 T. 213.239.8866 F. 213.239.8816
ARCHITECT: DFH ARCHITECTS 1544 TWENTIETH STREET SANTA MONICA, CA 90404 (310) 394-4045	LANDSCAPE ARCHITECT: BENNETT DESIGN GROUP 4609 E ANAHEIM ST # B, LONG BEACH, CA 90804 TEL: (562) 597-2221	STRUCTURAL ENGINEER: ENGLERKIRK STRUCTURAL ENGINEERS 888 S. FIGUEROA STREET 18TH FLOOR, LOS ANGELES, CA 90017 TEL: (323) 773-6673 FAX: (323) 773-8682

SHEET INDEX	
ARCHITECTURAL	LANDSCAPING
T-1.01	TITLE SHEET
T-1.02	ZONING AND BUILDING CODE BUILDING AREA CALCULATIONS
T-1.03	LANDSCAPE CALCULATIONS
A-1.01	SURVEY
A-1.02	SITE PLAN
A-2.01	GARAGE LEVEL C PLAN
A-2.02	GARAGE LEVEL B PLAN
A-4.01	BUILDING ELEVATIONS
A-2.03	GARAGE LEVEL A PLAN
A-2.04	FIRST/ GROUND FLOOR PLAN
A-2.05	SECOND FLOOR PLAN
A-3.01	BUILDING SECTIONS

PROJECT SUMMARY			
PROJECT ADDRESS:	305 S. SEPULVEDA BLVD. MANHATTAN BEACH CA 90266		
PROJECT DESCRIPTION:	NEW TYPE II-A TWO STORY OFFICE BUILDING ABOVE THREE LEVELS OF TYPE I-A SUBTERRANEAN PARKING GARAGE		
LEGAL DESCRIPTION:	<p>APN: 4169-024-001 THE NORTH 73 FEET OF 1 IN BLOCK 3 OF THE CARNATION VILLA TRACT, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 7, PAGE 42 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY</p> <p>APN: 4169-024-002 LOT 1 IN BLOCK 3 OF THE CARNATION VILLA TRACT, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 7, PAGE 42 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY</p> <p>APN: 4169-024-021 LOT 1 OF TRACT NO 42598, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FIELD IN BOOK 1064, PAGE 26 AND 27 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY</p>		
LOT AREA:	28,492 SQFT	LOT COVERAGE:	20,594 SQFT
MAX F.A.F. = 1.5	TOTAL BUILDING AREA: 37,174 SQFT		
PROPOSED F.A.F. = 37,174/ 28,492=1.30	(PLEASE SEE T-1.02 FOR CALCULATIONS)		
ZONING:	CG - GENERAL COMMERCIAL		
BUILDING HEIGHT:	2 STORY / 30FT (30FT ABOVE "AVERAGE NATURAL GRADE") AVERAGE NATURAL GRADE- AVERAGE ELEVATION OF EXISTING GRADE AT ALL 4 CORNERS OF THE LOT		
	<p>212.70' @ NORTHWEST PROPERTY LINE 220.54' @ SOUTHWEST PROPERTY LINE 224.40' @ NORTHEAST PROPERTY LINE 219.69' @ SOUTHEAST PROPERTY LINE 877.33' % 4 = 219.3' A.N.G. 219'-3" + 30" = 249'-3" MAX HEIGHT PROPOSE HEIGHT = 247'-0" PROPOSED BUILDING HEIGHT= 27'-9" MEASURED FROM A.N.G.</p>		
OCCUPANCY TYPE:	B/ S2		
OCCUPANCY LOAD:	OFFICE 100, GARAGE 200		
CONSTRUCTION TYPE:	TYPE II-A (1ST & 2ND FLOORS) TYPE I-A (PARKING LEVEL A, B AND C)		
FIRE PROTECTION:	AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLATION SHALL CONFORM TO 2013 CBC STANDARDS; CHAPTER 9 & THE CALIFORNIA FIRE CODE WHERE APPLICABLE		
YARD REQUIREMENTS:	FRONT YARD SETBACK: 10 FT REQUIRED AND PROVIDED REAR YARD SETBACK: DAYLIGHT PLANE AT REAR YARD PROPERTY LINE. PLEASE SEE A-3.01 GRAPHIC REPRESENTATION OF HOW THE PROJECT COMPLIES WITH THE REQUIREMENT. SIDE YARD SETBACK: NONE REQUIRED		
LANDSCAPE REQUIREMENTS:	TOTAL SITE AREA: 28,492 SQFT TOTAL LANDSCAPED AREA: 4,912 SQFT MIN LANDSCAPE REQUIRED 8%		
	4.912/ 28,492 17 % OF SITE AREA IS LANDSCAPED SEE SHEET T-1.03 FOR THE LANDSCAPE CALCULATIONS		



CODES , REGULATIONS , PERMITS AND STANDARDS	
1.	THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: PART 1: 2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24 CALIFORNIA CODE OF REGULATIONS (C.C.R.) PART 2: 2013 CALIFORNIA BUILDING CODE (CBC), TITLE 24 C.C.R. (2009 INTERNATIONAL BUILDING CODE, VOLUMES 1-2 OF THE INTERNATIONAL CODE COUNCIL WITH CALIFORNIA AMENDMENTS) PART 2.5: 2011 CITY OF LOS ANGELES RESIDENTIAL CODE (CRC), TITLE 24 C.C.R. (2010 CALIFORNIA RESIDENTIAL CODE AND 2009 INTERNATIONAL RESIDENTIAL CODE) PART 3: 2013 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 C.C.R. (2008 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA) PART 4: 2013 CALIFORNIA MECHANICAL CODE (CMC), TITLE 24 C.C.R. (2009 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAMPO) PART 5: 2013 CALIFORNIA PLUMBING CODE (CPC), TITLE 24 C.C.R. (2009 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAMPO) PART 6: 2013 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R. PART 7: 2013 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, TITLE 24 C.C.R. PART 9: 2013 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2009 INTERNATIONAL FIRE CODE) PART 11: 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24 C.C.R. (CALGREEN) PART 12: 2013 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24 C.C.R. NFPA 13: 2010 STANDARDS FOR THE INSTALLATION OF SPRINKLER SYSTEMS NFPA 24: 2010 STANDARDS FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPEARANCES NFPA 72: 2010 NATIONAL FIRE ALARM AND SIGNALING CODE FAIR HOUSING ACT DESIGN MANUAL 1998 (FHADM) WITH ANSI A117.1-2003, "FAIR HOUSING ACT SAFE HARBOR"
2.	ALL WORK SHALL COMPLY WITH THE FOLLOWING CITY OF LOS ANGELES REGULATIONS, CODES AND AUTHORITIES: A. BUILDING & SAFETY DEPT. B. PLANNING & ZONING DEPT. C. FIRE DEPT. D. PUBLIC WORKS DEPT. E. ENGINEERING DEPT. F. RECREATION & PARKS DEPT.

PARKING				
PARKING REQUIRED:	OFFICE AREA: 1 PARKING PER 300 SF			
	1ST FLOOR 19,772 SF 2ND FLOOR 17,402 SF TOTAL: 37,174 SF 37,174/ 300= 124 PARKING REQUIRED 30% MAX COMPACT SPACE IS ALLOWED			
PARKING PROVIDED				
LEVEL	TYPE	PROVIDED		
LEVEL A	ACCESSIBLE	6		
	STANDARD	36		
	COMPACT	21		
	LEVEL TOTAL	63		
LEVEL B	STANDARD	47		
	COMPACT	21		
	LEVEL TOTAL	68		
LEVEL C	STANDARD	47		
	COMPACT	21		
	LEVEL TOTAL	68		
TOTAL PARKING PROVIDED VS REQUIRED:	PROVIDED	REQUIRED		
	ACCESSIBLE	6	6	
	STANDARD	130	81	
	COMPACT	63	37	
	199 TOTAL	124 TOTAL		

DEFERRED SUBMITTALS	
SEPARATE APPS, PLAN CHECK AND PERMITS WILL BE SUBMITTED FOR:	
-	FIRE PROTECTION SPRINKLER SYSTEM
-	FIRE ALARM DESIGN SYSTEM

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Manhattan Beach, CA 90266

SCHEMATIC DESIGN SET
OCTOBER 07, 2015

TITLE SHEET

Date:	02/12/2016
Scale:	12" = 1'-0"
By:	DR
Project No:	1527
Page No:	T-1.01

OF

PLUMBING FIXTURE- AREA CALCULATION

TYPE OF BUILDING OR OCCUPANCY	WATER CLOSETS (FIXTURES PER PERSON)	URINALS (FIXTURES PER PERSON)	LAVATORIES (FIXTURES PER PERSON)	LEVEL	AREAS	OCCUPANCY LOAD	MINIMUM FIXTURES REQUIRED PER CBC TABLE 2902.1		
							WATER CLOSET	URINALS	LAVATORIES
BUSINESS OFFICE BUILDING - EMPLOYEE USE	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	IBC 419.2 Substitution for water closets. . . Urinals shall not be substituted for more than 50 percent of the required water closets in all other occupancies.	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	1st / Ground Floor	18663.63 SF	187	5		4
				2nd Floor	16275.31 SF	163	4		4
							FIXTURES PROVIDED		
				1ST FLOOR			6	2	4
			2ND FLOOR				6	2	4

ZONING CODE FLOOR AREA

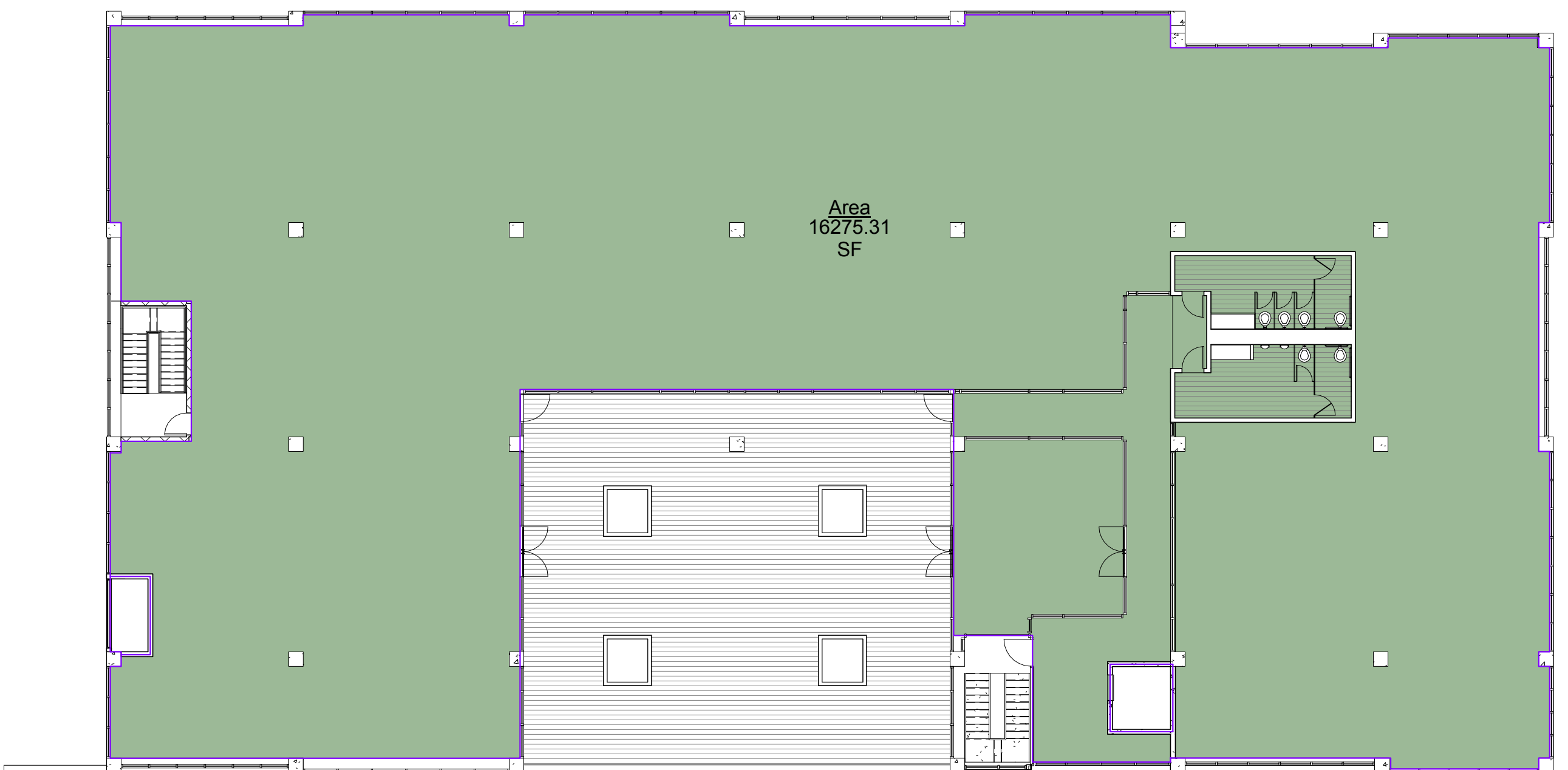
CITY OF MANHATTAN BEACH ZONING CODE, FLOOR AREA		LEVEL	AREAS
* Floor Area, Buildable: The total enclosed area of all stories of a building, measured to the outside face of the structural members in exterior walls, and thirty percent (30%) of the area of all basements of a building that are not entirely below local grade, and including halls and the area of the stairs, but excluding floor area under stairs and those portions of a basement that are entirely below grade. The following elements also are excluded from a determination of buildable floor area: Commercial and Industrial Districts: That area used exclusively for vehicle parking and loading and in service and mechanical rooms, enclosed vertical shafts, or elevators.*		1st / Ground Floor	19,771.83 SF
		2nd Floor	17,402.23 SF
		TOTAL	37,174.06 SF
FLOOR AREA RATIO: SITE AREA			28,494 SF
FLOOR AREA PROVIDED FAR PROPOSED (FLOOR AREA/SITE AREA)			37,174 SF 1.30

CBC ALLOWABLE BUILDING AREA CALCULATIONS

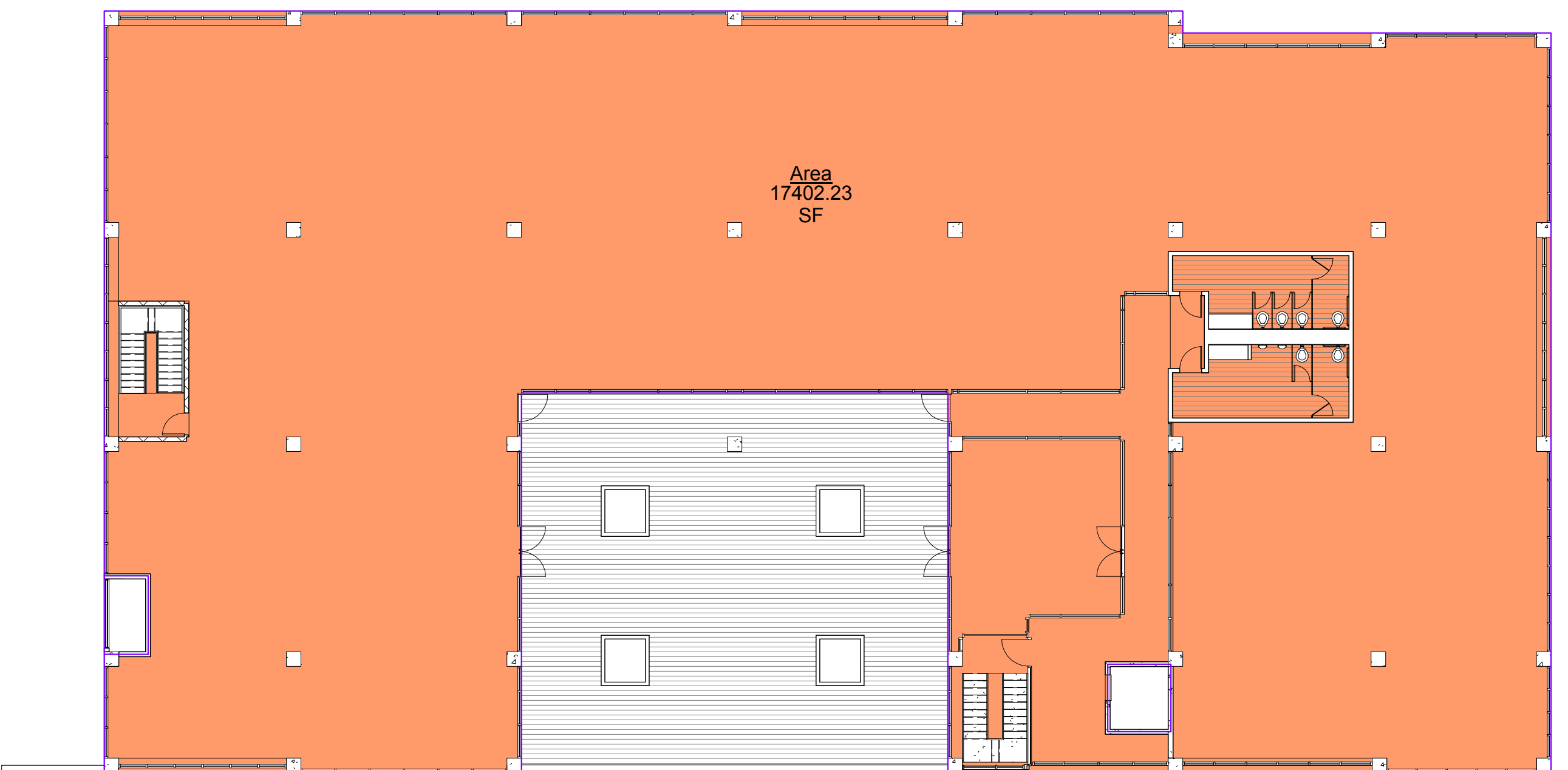
THE BUILDING HEIGHT AND AREA SHALL NOT EXCEED THE LIMITS SPECIFIED IN TABLE 503 BASED ON THE TYPE OF CONSTRUCTION AS DETERMINED BY SECTION 602 AND THE OCCUPANCIES AS DETERMINED BY SECTION 302 EXCEPT AS MODIFIED HEREAFTER. **CBC SECTION 503.1**

TYPE II-A CONSTRUCTION

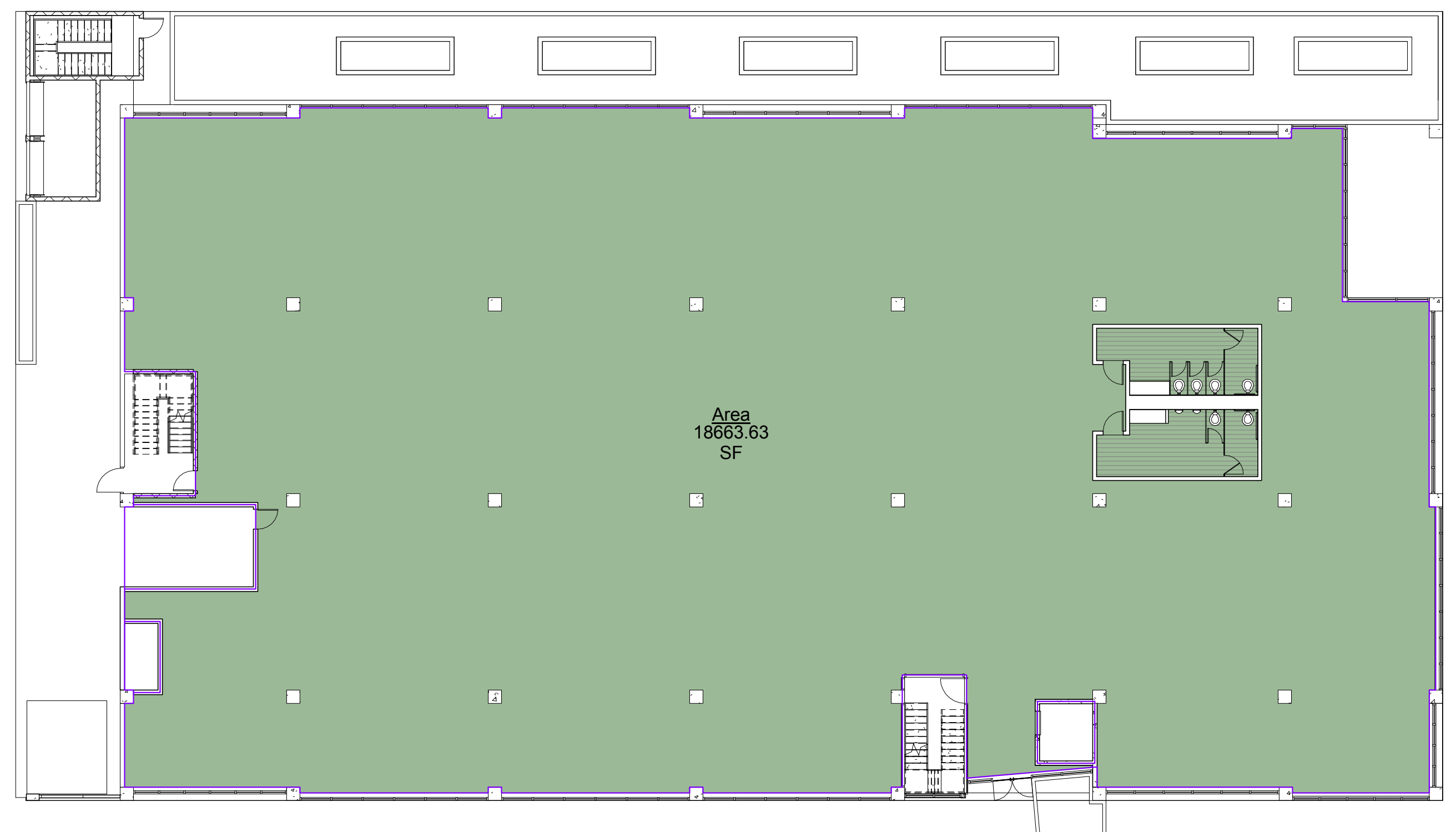
B GENERAL OFFICE OCCUPANCY	ALLOWED	PROVIDED
LEVEL 1 OFFICES	37,500SF	19,772.SF
LEVEL 2 OFFICES	37,500SF	17,402SF



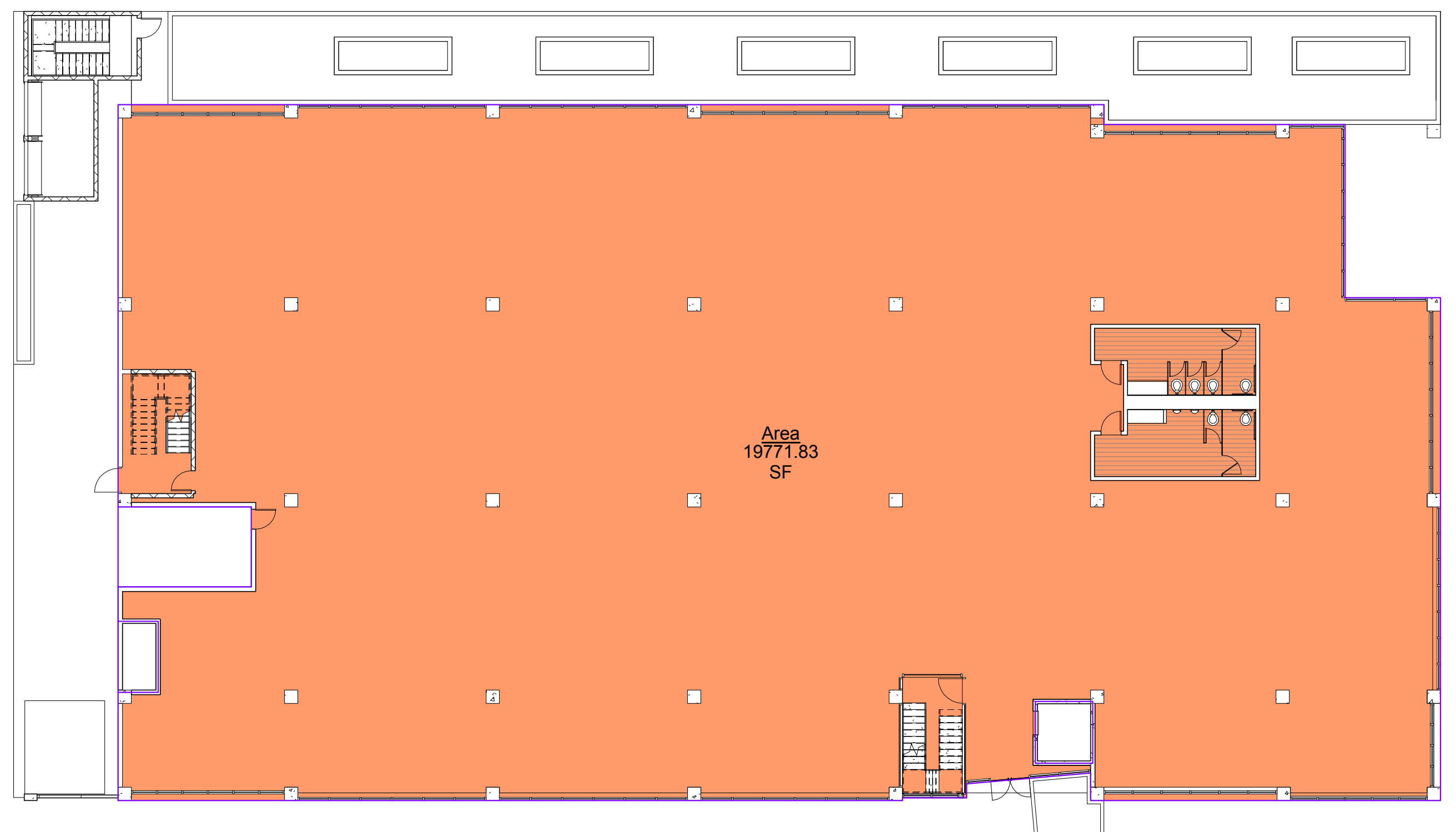
2nd Floor SCALE: 1/16" = 1'-0" 4



2nd Floor SCALE: 1/16" = 1'-0" 2



1st / Ground Floor SCALE: 1/16" = 1'-0" 3



1st / Ground Floor SCALE: 1/16" = 1'-0" 1

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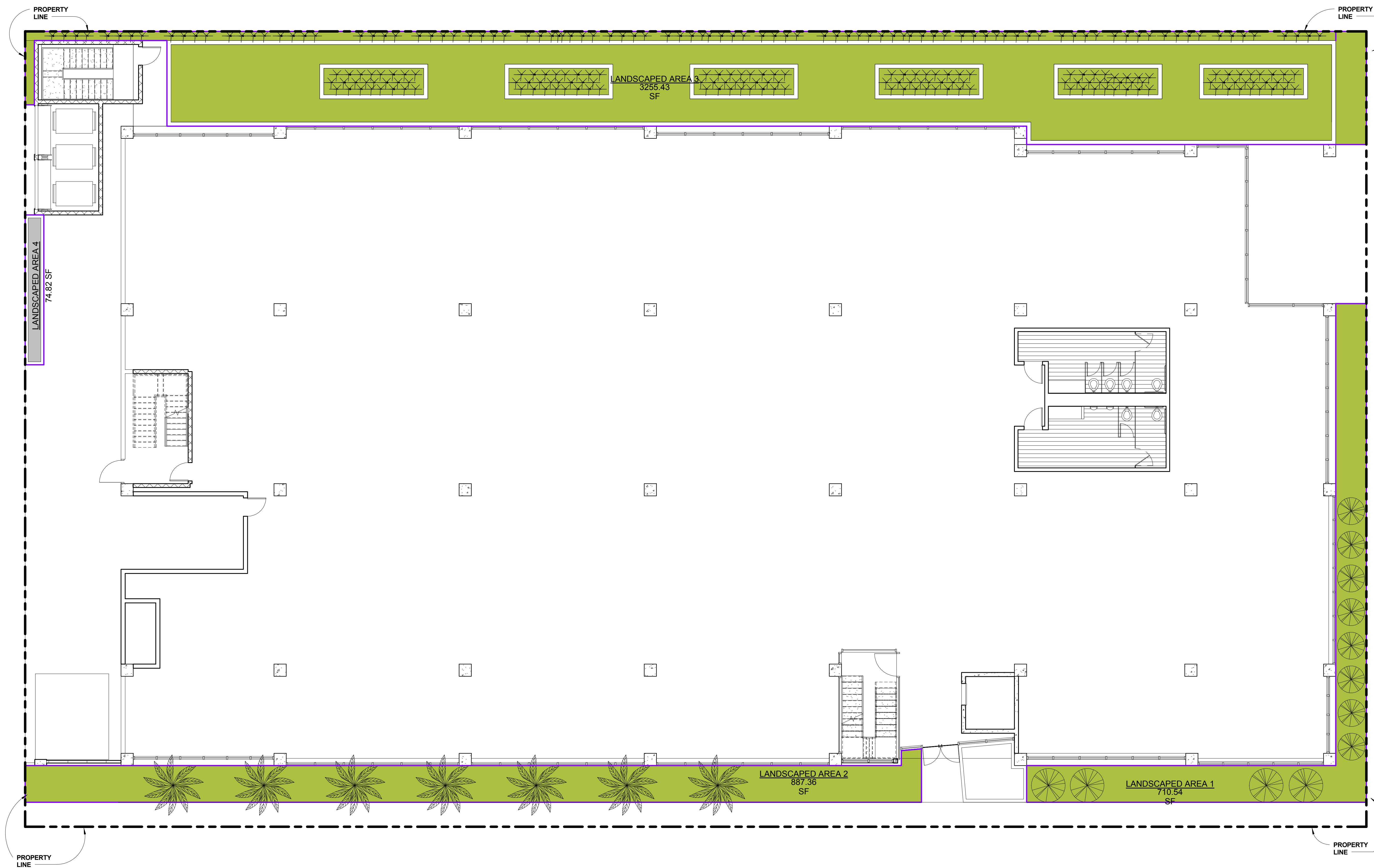
SCHEMATIC DESIGN SET
OCTOBER 07, 2015

ZONING AND BUILDING CODE
BUILDING AREA
CALCULATIONS



Date: 06/16/15
Scale: 1/16" = 1'-0"
By: Author
Project No: 1527
Page No:
T-1.02
OF

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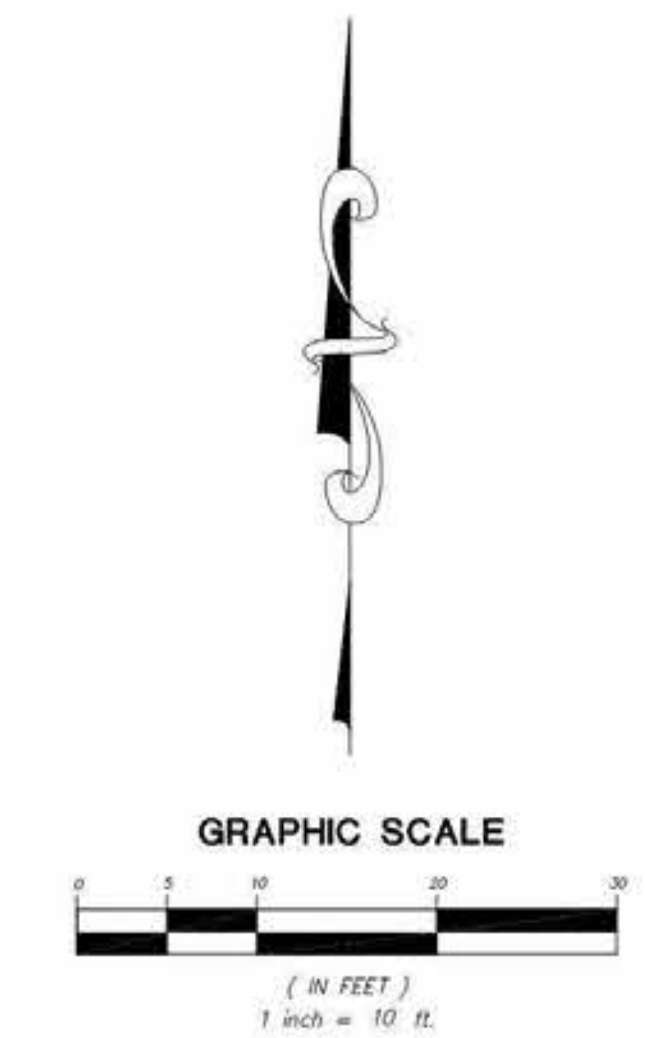
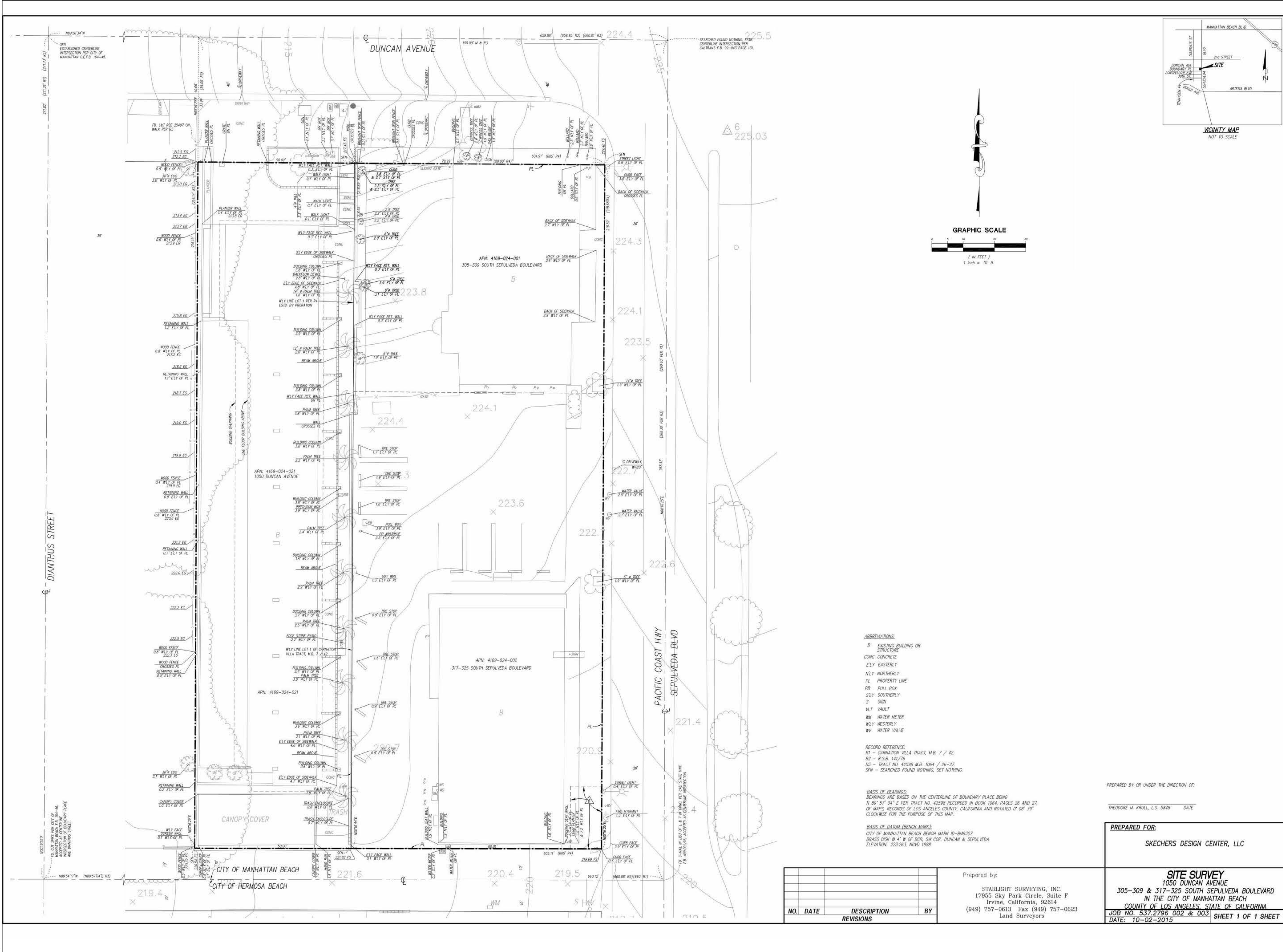


LANDSCAPED AREA	
SQUARE FOOTAGE	AREA
710.54 SF	LANDSCAPED AREA 1
887.36 SF	LANDSCAPED AREA 2
3255.43 SF	LANDSCAPED AREA 3
74.82 SF	LANDSCAPED AREA 4
4928.15 SF	TOTAL LANDSCAPED AREA

TOTAL SITE AREA: 28,492 SQFT
 TOTAL LANDSCAPED AREA: 4,912 SQFT
 MIN LANDSCAPE REQUIRED 8%

4,912 / 28,492 17% OF SITE AREA IS LANDSCAPED
 17% > 8% REQUIREMENT MET





ABBREVIATIONS:
 B EXISTING BUILDING OR STRUCTURE
 CONC CONCRETE
 ELY EASTERLY
 NLY NORTHERLY
 PL PROPERTY LINE
 PB PULL BOX
 SLY SOUTHERLY
 S SIGN
 VLT VAULT
 WM WATER METER
 WLY WESTERLY
 WV WATER VALVE

RECORD REFERENCE:
 R1 - CARNATION VILLA TRACT, M.B. 7 / 42.
 R2 - R.S.B. 141/76
 R3 - TRACT NO. 42598 M.B. 1064 / 26-27
 SN - SEARCHED FOUND NOTHING, SET NOTHING.

BASIS OF BEARINGS:
 BEARINGS ARE BASED ON THE CENTERLINE OF BOUNDARY PLACE BEING
 N 89° 57' 04" E PER TRACT NO. 42598 RECORDED IN BOOK 1094, PAGES 26 AND 27,
 OF MAPS, RECORDS OF LOS ANGELES COUNTY, CALIFORNIA AND ROTATED 0° 08' 39"
 CLOCKWISE FOR THE PURPOSE OF THIS MAP.

BASIS OF DATUM (BENCH MARK):
 CITY OF MANHATTAN BEACH BENCH MARK 10-BM307
 BRASS DISK @ 4" W OF B.O.S. SW COR. DUNCAN & SEPULVEDA
 ELEVATION: 223.263, NGVD 1988

PREPARED BY OR UNDER THE DIRECTION OF:
 THEODORE M. KRULL, L.S. 5848 DATE

PREPARED FOR:
 SKECHERS DESIGN CENTER, LLC

NO.	DATE	DESCRIPTION	BY

Prepared by:
 STARLIGHT SURVEYING, INC.
 17955 Sky Park Circle, Suite F
 Irvine, California, 92614
 (949) 757-0613 Fax (949) 757-0623
 Land Surveyors

SITE SURVEY
 1050 DUNCAN AVENUE
 305-309 & 317-325 SOUTH SEPULVEDA BOULEVARD
 IN THE CITY OF MANHATTAN BEACH
 COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
 JOB NO. 537.2796.002 & 003
 DATE: 10-02-2015

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SURVEY

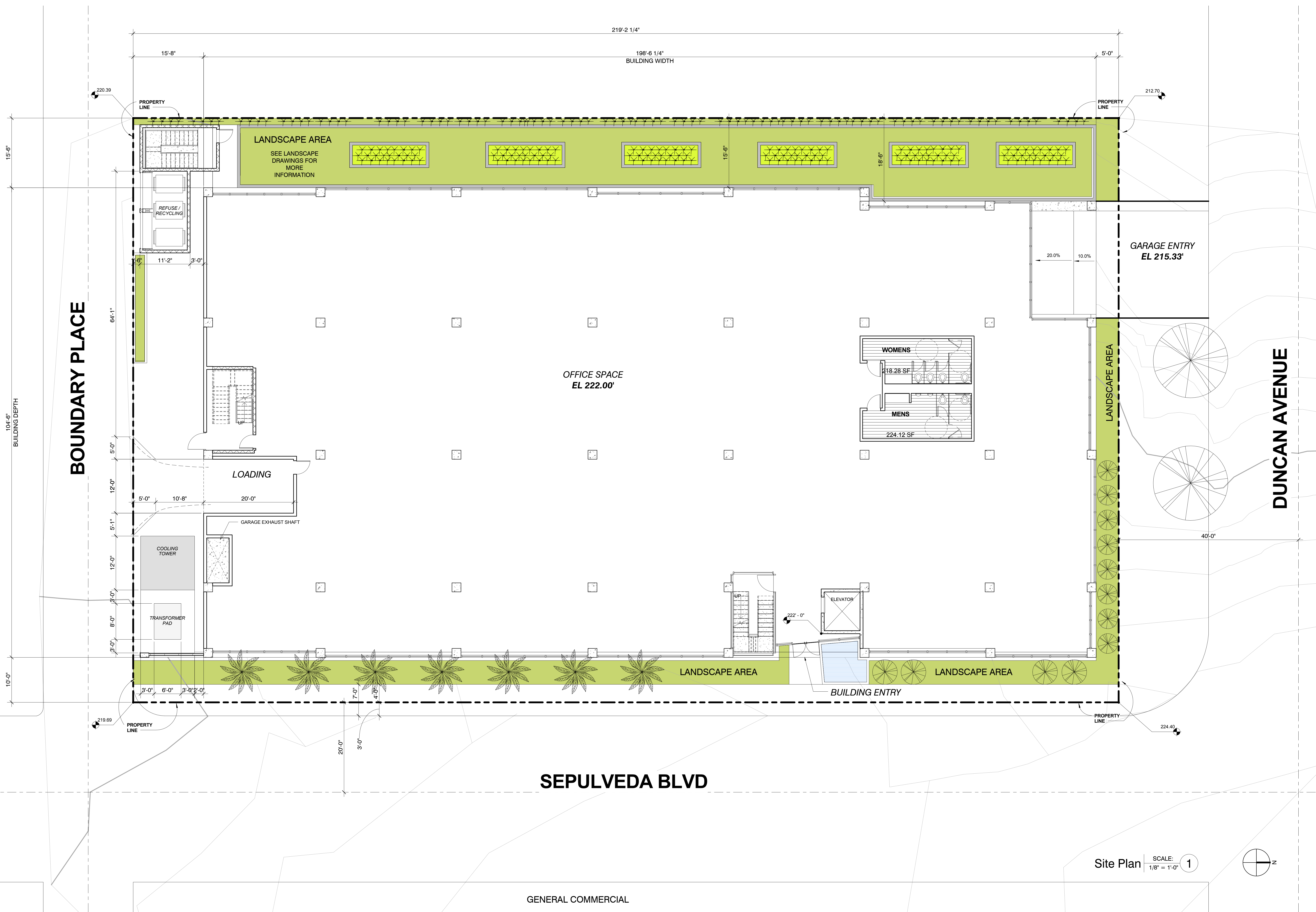
LICENSED ARCHITECT
 LAND SURVEYOR
 No. C 2811
 State of California

Date: 06/15/15
 Scale:
 By: SOB
 Project No:
1527
 Page No:
A-1.01
 OF

KEYNOTES

RESIDENTIAL SINGLE FAMILY

219'-2 1/4"
198'-6 1/4"
BUILDING WIDTH



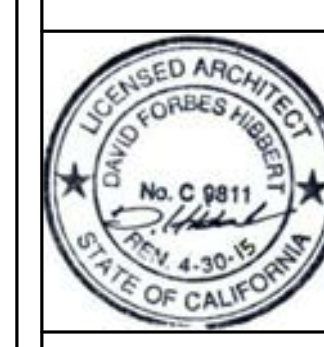
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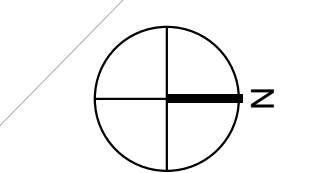
1ST PLAN CHECK SUBMITTAL
 MAY 18, 2015

GENERAL COMMERCIAL
 SITE PLAN



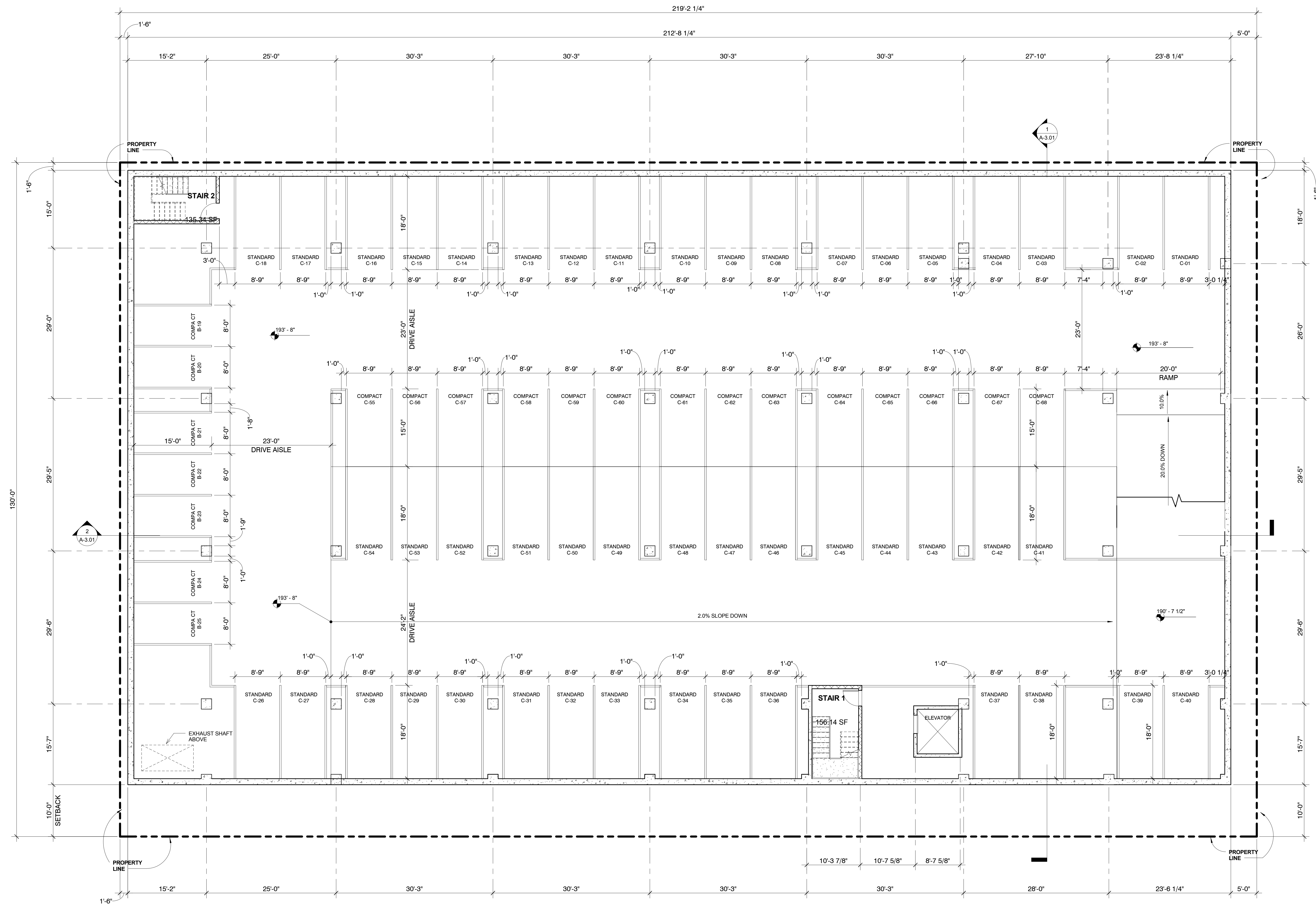
Date: 08/15/15
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 By: DR
 Project No: 1527
 Page No: A-1.02
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Site Plan SCALE: 1/8" = 1'-0" 1



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KEYNOTES



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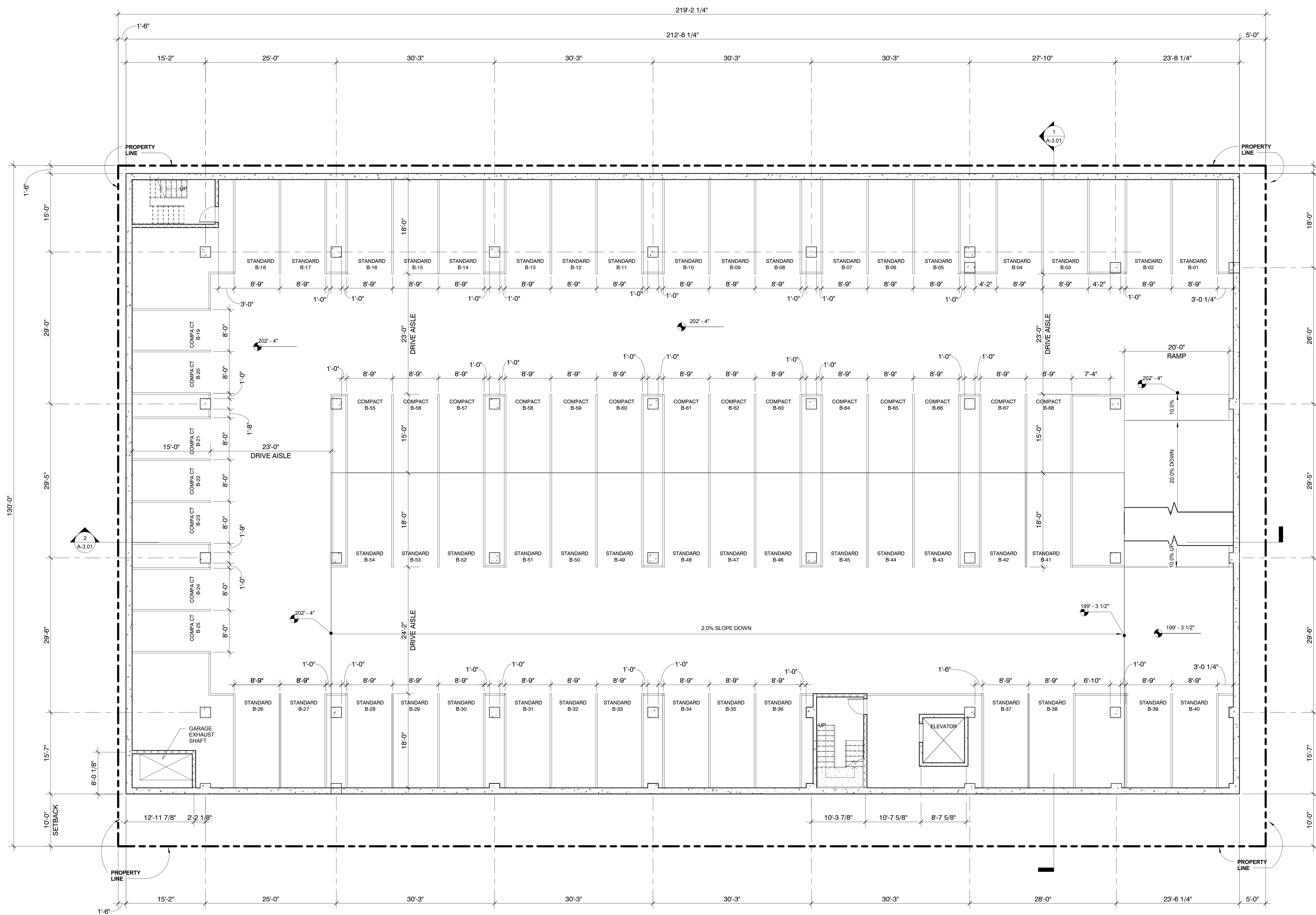
SCHEMATIC DESIGN SET
 OCTOBER 07, 2015

GARAGE LEVEL C PLAN



Date: 06/22/15
 Scale: 1/8" = 1'-0"
 By: Author
 Project No: 1527
 Page No: A-2.01
 OF

KEYNOTES



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SCHEMATIC DESIGN SET
 OCTOBER 07, 2015

GARAGE LEVEL B PLAN



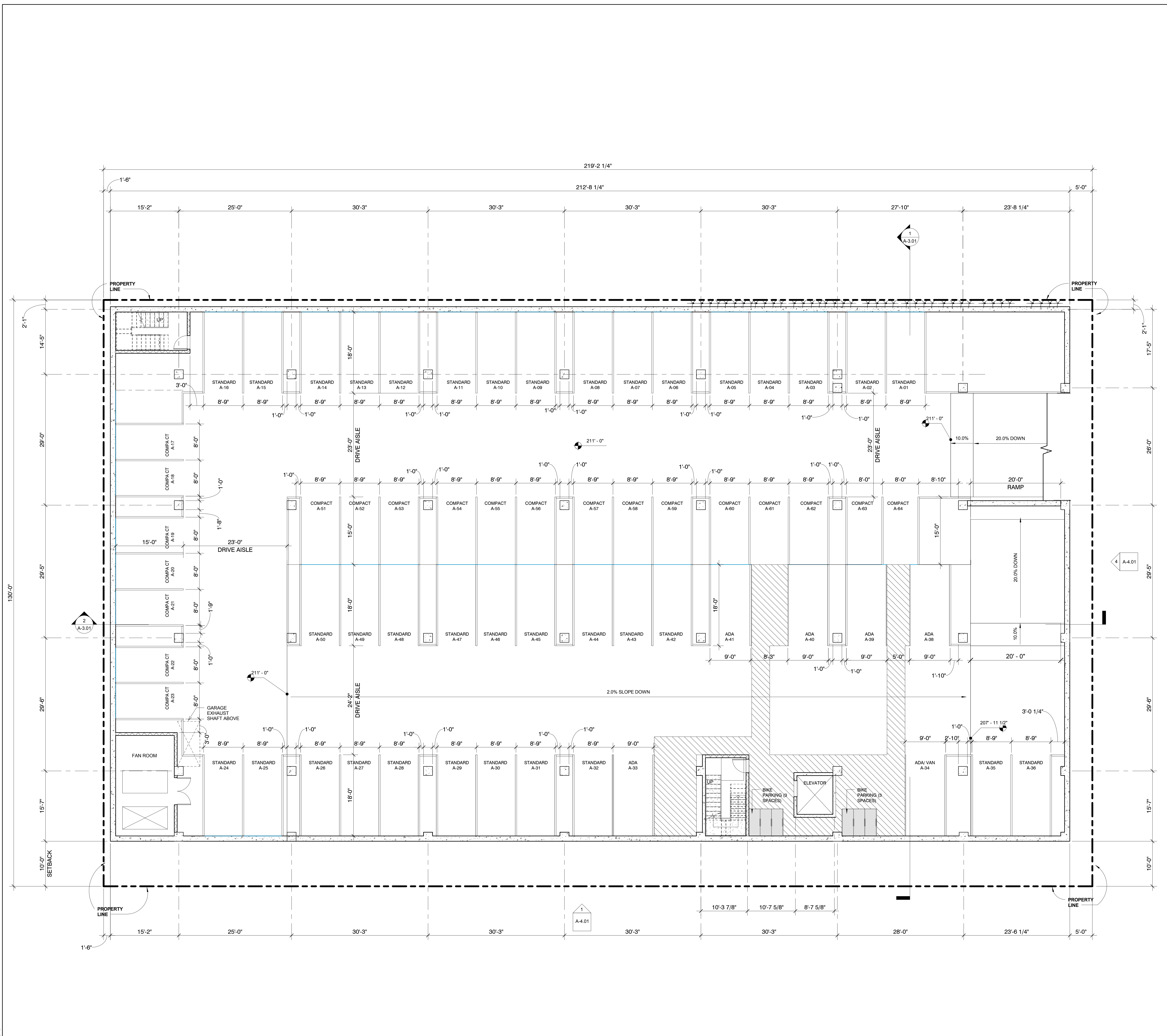
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 Scale: 1/8" = 1'-0"
 By: Author
 Project No: 1527
 Page No: A-2.02
 OF

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KEYNOTES



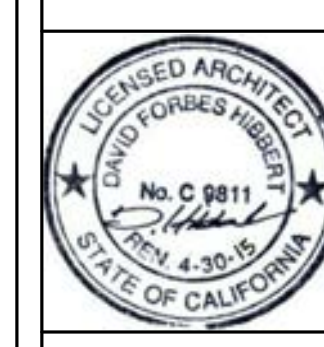
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 OCTOBER 07, 2015

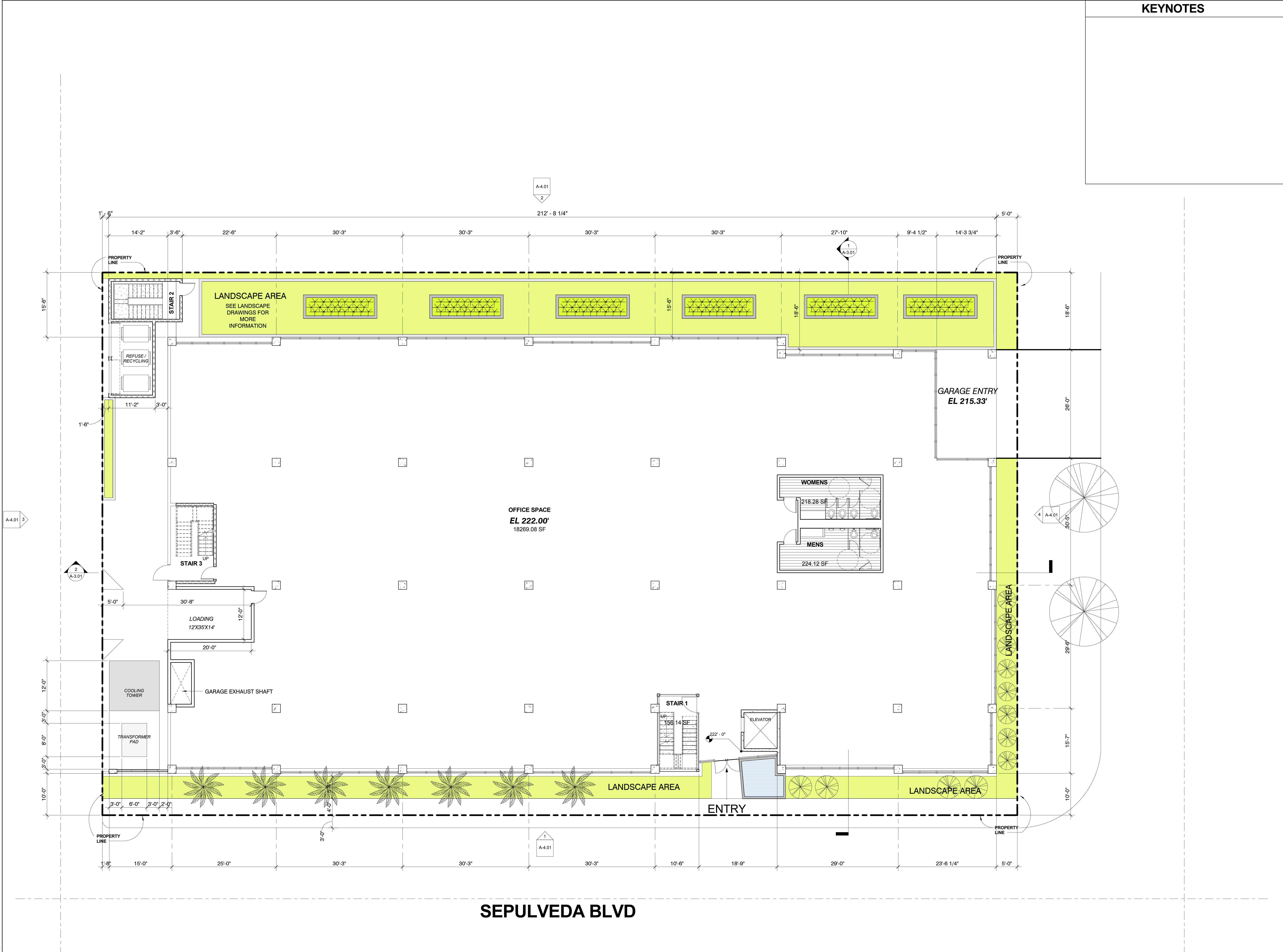
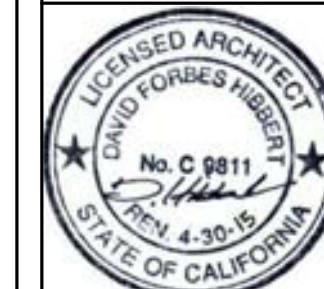
GARAGE LEVEL A PLAN



Date: 06/15/15
 Scale: 1/8" = 1'-0"
 By: Author
 Project No: 1527
 Page No: A-2.03
 OF

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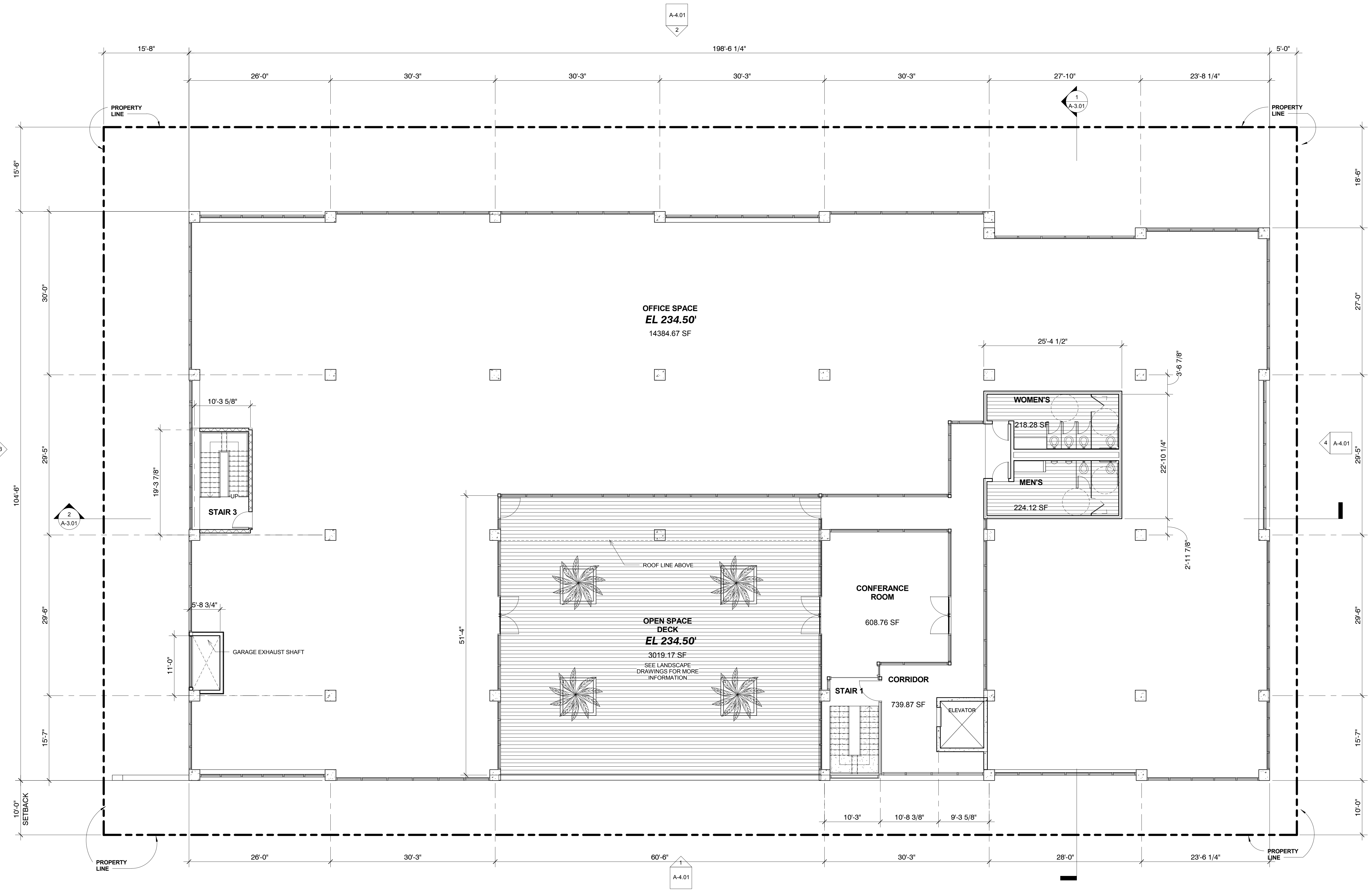
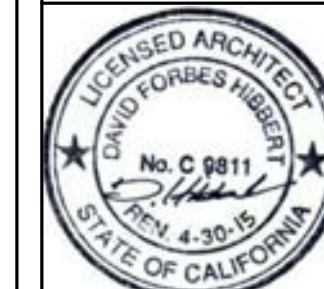
KEYNOTES



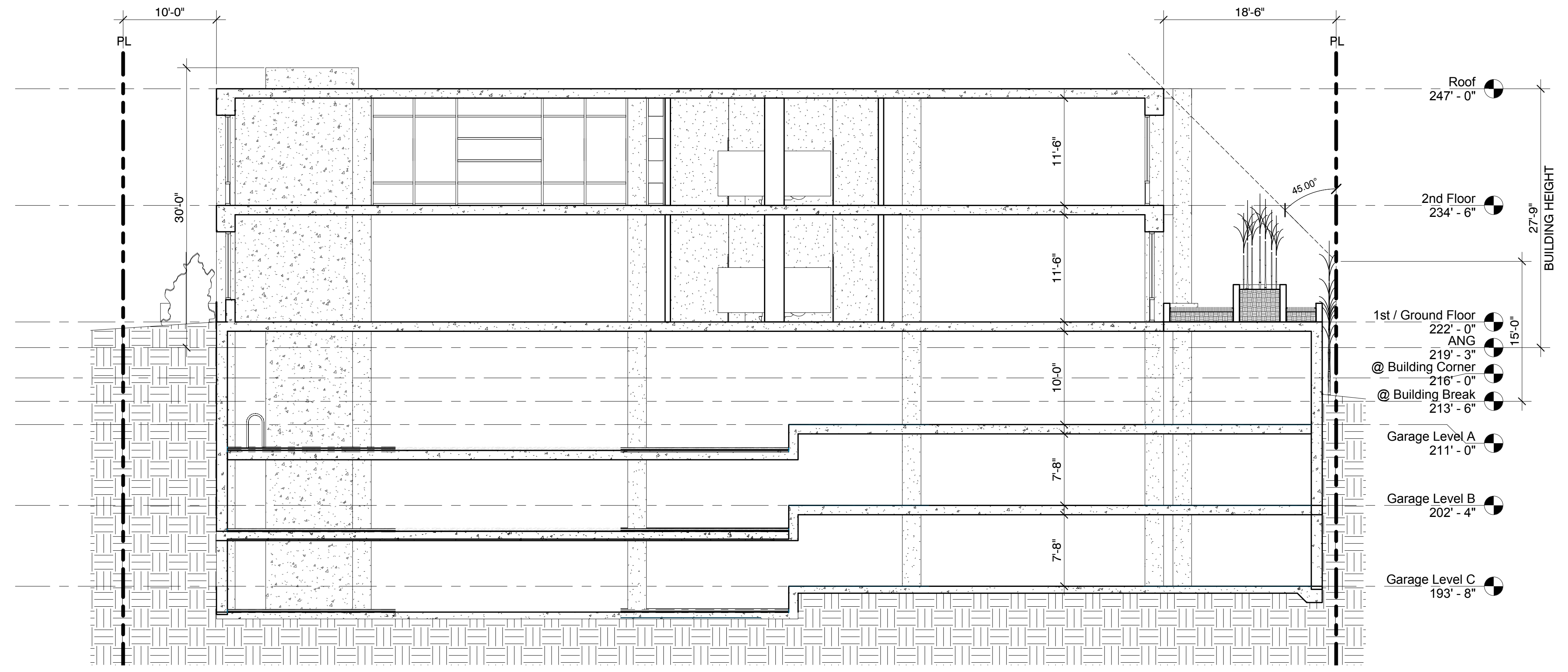
SEPULVEDA BLVD

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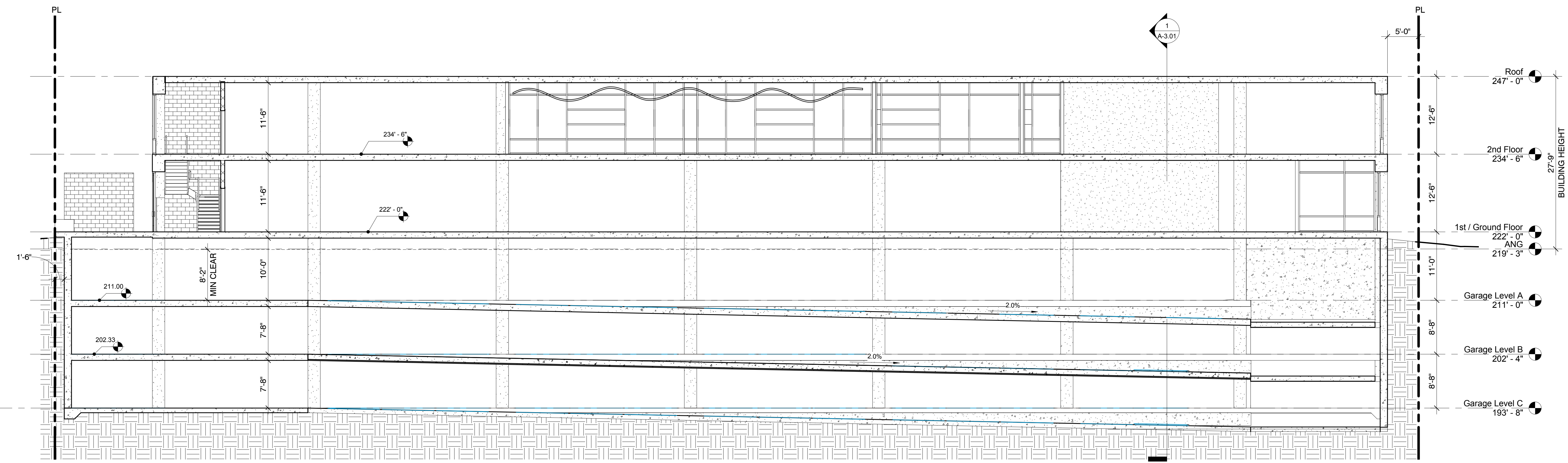
KEYNOTES



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Section AA SCALE: 1/8" = 1'-0" 1



Section BB SCALE: 1/8" = 1'-0" 2

GENERAL NOTES

KEYNOTES

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SCHEMATIC DESIGN SET
 OCTOBER 07, 2015

BUILDING SECTIONS



Date: 08/14/15
 Scale: 1/8" = 1'-0"
 By: DR
 Project No: 1527
 Page No:
A-3.01
 OF

KEYNOTES

E-02	EXTERIOR CEMENT PLASTER O/ METAL LATH W/ SMOOTH TROWEL FINISH W/ INTEGRAL COLOR AND PAINTED, U.O.N.
E-03	EXPOSED STRUCTURAL CONCRETE; SMOOTH-FORMED FINISH (CLASS A)
E-06	BLUE SPANDREL GLASS, TYP. BACKED W/ R-13 INSULATION, 2GA. STUDS & GYPSUM
E-07	CURTAIN WALL SYSTEM W KYNAR FINISH, SILVER
E-10	CLAD W/ 24" SQUARE STAINLESS STEEL PANELS (SHINGLE-STYLE)
E-11	GARAGE EXHAUST LOUVER. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
E-20	CLEAR LOW E GLASS, TYP.
E-33	OPERABLE AWNING-STYLE WINDOW, TYP.
E-44	PLANTER. SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION

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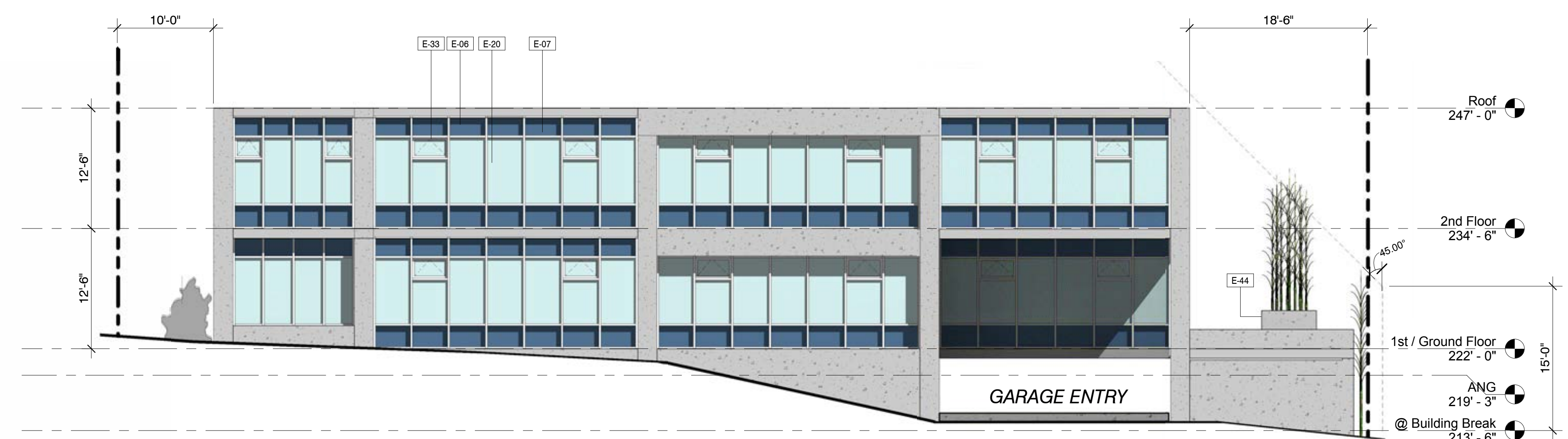
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1ST PLAN CHECK SUBMITTAL
MAY 18, 2015

BUILDING ELEVATIONS



Date: 06/15/15
 Scale: 1/8" = 1'-0"
 By: Author
 Project No: 1527
 Page No:
A-4.01
 OF



North SCALE: 1/8" = 1'-0" 4



South SCALE: 1/8" = 1'-0" 3



West SCALE: 1/8" = 1'-0" 2



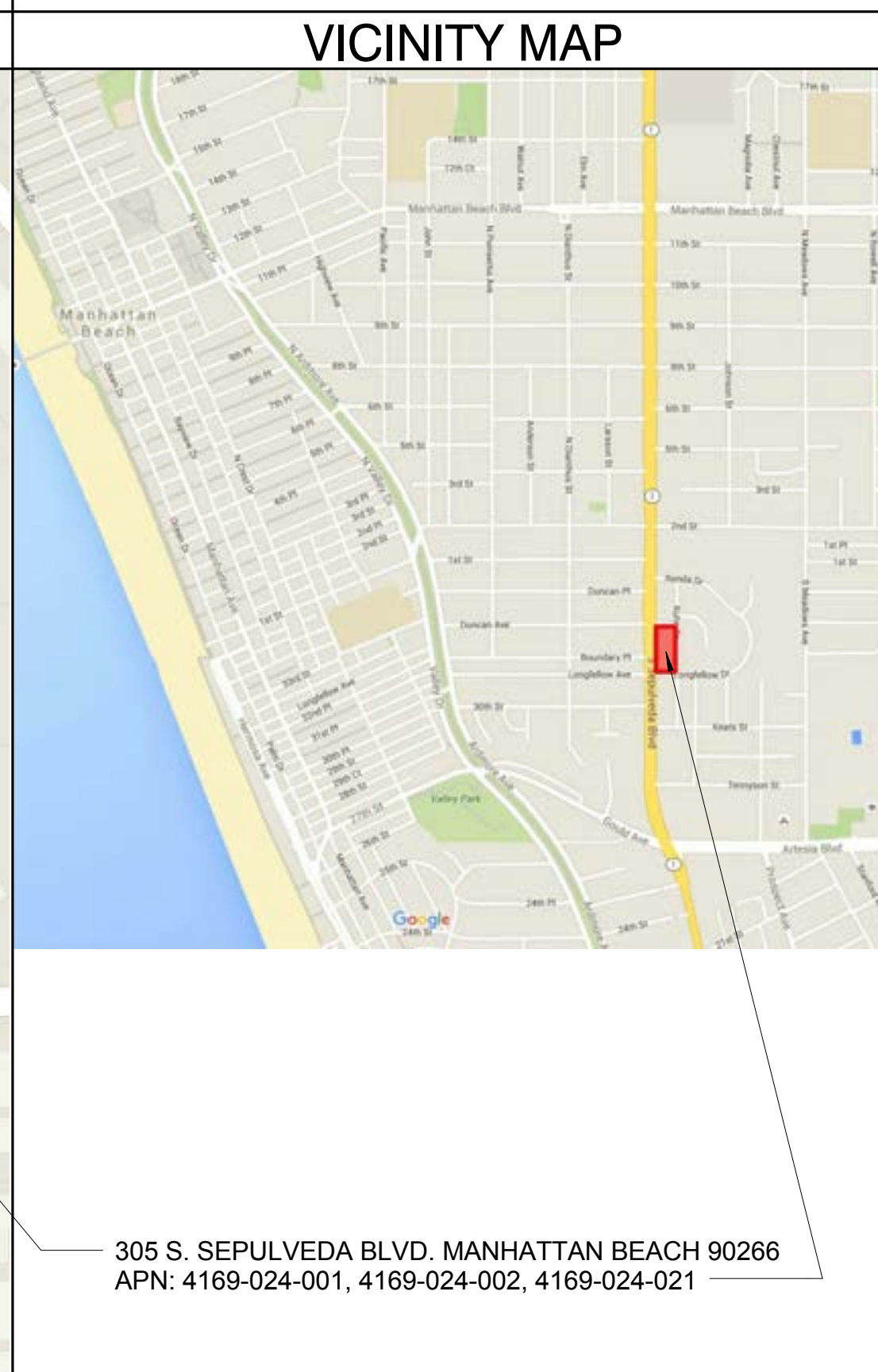
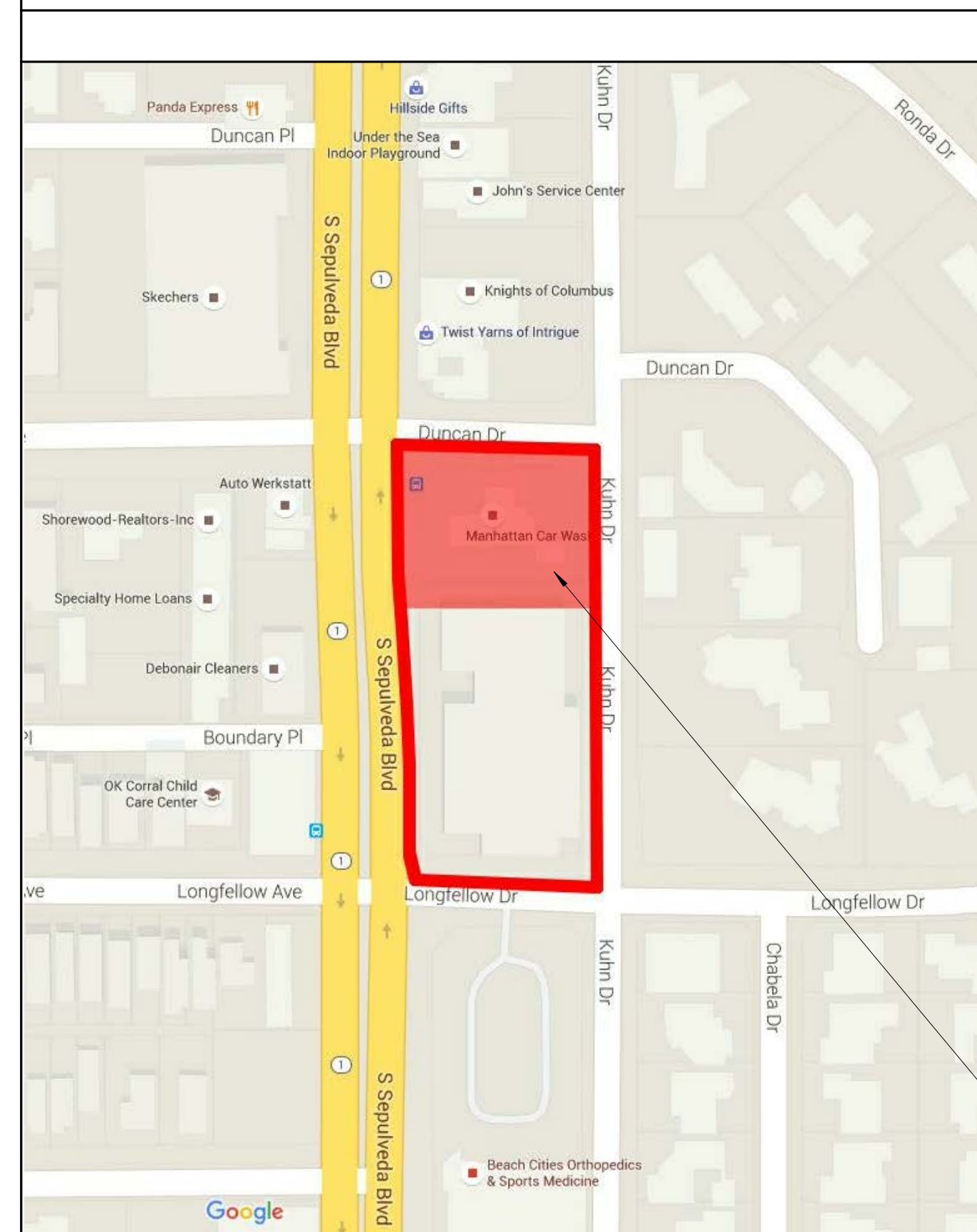
East SCALE: 1/8" = 1'-0" 1

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ABBREVIATIONS	
A/C	AIR CONDITIONING
A.C.	ASPHALTIC CONCRETE
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BD.	BOARD
B.L.D.G.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
C.L.	CENTER LINE
C.L.G.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
COMM.	COMMERCIAL
CONC.	CONCRETE
CONC. BLK.	CONCRETE BLOCK
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.S.	DOWN SPOUT
D.T.L.	DETAIL
DWG.	DRAWING
EA.	EACH
E.G.	EXISTING GRADE
ELEC.	ELECTRIC
ELEV.	ELEVATION
EQ.	EQUAL
EXST.	EXISTING
EXT.	EXTERIOR
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FT.	FEET
FTG.	FOOTING
G.	GAS
GA.	Gauge
GALV.	GALVANIZED
GL.	GLASS
GYP.	GYPSUM
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HD.	HEAD
HR.	HARD ROCK
H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING
H.W.	HOT WATER
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M/C	MEDICINE CABINET
MECH.	MECHANICAL
MFG.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N	NORTH
N.G.	NATURAL GRADE
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
OFF.	OFFSITE
P.A.	PLANTING AREA
P.C.	PRE-CAST CONCRETE
P.P.	POWER POLE
PL.	PLATE
P.L.	PROPERTY LINE
P.LYWD.	PLYWOOD
PLMB.	PLUMBING
PAIR.	PAIR
PAINT.	PAINT
R.	RISER
R.A.	RETURN AIR
RAD.	RADIUS
R.D.	ROOF DRAIN
RECP.	RECEPTACLE
REF.	REFRIGERATOR
REINF.	REINFORCED
RECD.	REQUIRED
REV.	REVISION
RF.	ROOF
RM.	ROOM
R.O.	ROUGH OPENING
S.A.	SUPPLY AIR
S.C.	SOLID CORE
S.D.	STORM DRAIN
S.F.	SQUARE FEET
SHT.	SHEET
SHTG.	SHEATHING
SHT. MTL.	SHEET METAL
SIM.	SIMILAR
S/S	STAINLESS STEEL
STL.	STEEL
STR.	STRUCTURAL
SUBFLR.	SUB-FLOOR
SUSP.	SUSPENDED
T.	TREAD
T & G	TONGUE AND GROOVE
THK.	THICK
T.O.	TOP OF
TYP.	TYPICAL
U.G.	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE
U.O.N.	UNLESS OTHERWISE NOTED
UNF.	UNFINISHED
W.	WATER
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
WH.	WATER HEATER
W.I.	WROUGHT IRON
W/O	WITHOUT
W.O.	WHERE OCCURS
W.P.	WATER PROOF
W.R.	WEATHER RESISTANT
W.W.M.	WELDED WIRE MESH

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
(E)	EXISTING CONDITION
(D)	CONDITION TO BE DEMOLISHED
(N)	NEW CONDITION
	ELEVATION LOCATION
268	EXISTING CONTOUR LINE
320	NEW CONTOUR LINE
	MATCH LINE, SHADED PORTION SIDE SHOWN
	LEVEL LINE, CONTROL POINT OR DATUM
	PROPERTY LINE, BOUNDARY LINES
	CENTER LINE, EXTERIOR ELEVATION LINES
	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
	OUTLINE OF HIDDEN OBJECTS BELOW
	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION
	REFERENCE DRAWING NUMBER
1	DETAIL NUMBER
A-1	REFERENCE DRAWING NUMBER
	WALL SECTION
	REFERENCE DRAWING NUMBER
A-1.11	ELEVATION NUMBER
1	REFERENCE DRAWING NUMBER
101	DOOR NUMBER
A	WALL REFERENCE
11	WINDOW NUMBER
A	MATERIAL REFERENCE
A	COLOR REFERENCE
12	EQUIPMENT NUMBER
1	REVISION
N	PROJECT NORTH
	(MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
1	REFERENCE GRIDS

PROJECT DIRECTORY	
OWNER: SEPVULVEDA BLVD PROPERTIES, LLC SKECHERS USA 228 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA 90266 CONTACT: TIM BALL TEL: (310) 318-3100 x 1488	ARCHITECTURAL T-1.0 TITLE SHEET T-1.02 AREA PLANS A-1.00 SURVEY A-1.01 SITE PLAN A-2.01 PARKING LEVEL P3 A-2.02 PARKING LEVEL P2 A-2.03 PARKING LEVEL P1 A-2.04 1st LEVEL PLAN A-2.05 2nd LEVEL PLAN A-2.06 3rd LEVEL PLAN A-2.07 ROOF PLAN A-3.01 SECTIONS A-4.01 ELEVATIONS A-4.02 ELEVATIONS
PROJECT SUMMARY	
PROJECT ADDRESS: 330 S. SEPULVEDA BLVD. MANHATTAN BEACH CA 90266	PROJECT DESCRIPTION: NEW ADDITION TO THE EXISTING OFFICE BUILDING AT 330 S SEPULVEDA BLVD. THE ADDITION INCLUDES A TWO STORY, TYPE II-A OFFICE BUILDING ABOVE FOUR LEVELS OF TYPE I-A SUBTERRANEAN PARKING GARAGE.
LEGAL DESCRIPTION: APN: 4168-025-006 (N) ADDITION TRACT 14274 LOTS 13 AND LOT 14 < add legal description > APN: 4168-025-016 (E) BUILDING TRACT 14274 LOTS 8 THRU 12 < add legal description >	ZONING: CG - GENERAL COMMERCIAL / AREA DISTRICT 1
LOT AREA: 38,100 SF - (E) LOT 15,570 SF - (N) LOTS TOTAL: 53,670 SF	LOT COVERAGE: 34,067 SF - (E) BUILDING (89%) 14,280 SF - (N) ADDITION (92%) 48,347 SF (90%)
ALLOWABLE FLOOR AREA (1.5 MAX): 53,670 SF LOT AREA x 1.5 = 80,505 SF MAX	
FLOOR AREA SUMMARY (FAR):	
SEE T-1.02 FOR AREA DIAGRAMS	EXISTING NEW TOTAL
GROUND / LEVEL 1	7,779 SF N/A - BASEMENT 7,779 SF
LEVEL 2 - OFFICES	21,345 SF 10,164 SF 31,594 SF
LEVEL 3 - OFFICES	25,751 SF 10,164 SF 36,000 SF
TOTAL	54,875 SF 20,328 SF 75,373 SF (1.4 FAR)
BUILDING HEIGHT: 2 STORY / 30FT (30FT ABOVE "AVERAGE NATURAL GRADE" OR A.N.G.) (PLANNING / ZONING) AVE. NATURAL GRADE = AVE. ELEVATION OF EXISTING GRADE AT ALL 4 CORNERS OF THE LOT	226.200' @ (N) NORTHWEST PROPERTY LINE 216.675' @ SOUTHWEST PROPERTY LINE 228.300' @ (N) NORTHEAST PROPERTY LINE 219.035' @ SOUTHEAST PROPERTY LINE 890.710' / 4 = 222.678' A.N.G.
SETBACKS:	222'-8 1/8" + 30" = 252'-8 1/8" MAX HEIGHT PROPOSE HEIGHT = 252'-6 7/8" (29'-10 3/4") MEASURED FROM A.N.G.
SITE LANDSCAPING: (SEE T-1.02)	FRONT YARD SETBACK: 10 FT REQUIRED AND PROVIDED SIDE YARD SETBACK: NONE REQUIRED REAR YARD SETBACK: DAYLIGHT PLANE AT REAR YARD PROPERTY LINE. PLEASE SEE A-3.01 FOR GRAPHIC REPRESENTATION OF HOW THE PROJECT COMPLIES WITH THE REQUIREMENT.
	TOTAL SITE AREA: 53,670.0 SF TOTAL REQUIRED LANDSCAPE: 4,293.6 SF (8%) TOTAL PROVIDED LANDSCAPE: 7,195.5 SF TOTAL (13%) 2,173.0 SF (N) 5,022.5 SF (E)
	7,195.5 / 53,670 = 13% OF SITE AREA IS LANDSCAPED (8% MIN REQUIRED)
BUILDING DEPARTMENT	
OCCUPANCY TYPE: B / S2	
CONSTRUCTION TYPE:	TYPE II-A (2ND & 3RD FLOORS) TYPE I-A (1ST FLOOR & PARKING LEVEL P1, P2 & P3)
FIRE PROTECTION:	AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLATION SHALL CONFORM TO 2013 CBC STANDARDS; CHAPTER 9 & THE CALIFORNIA FIRE CODE WHERE APPLICABLE
PARKING	
PARKING REQUIRED: 338 PARKING SPACES OFFICE AREA: 1 PARKING PER 300 SF	
(E) BUILDING 270 REQUIRED PARKING SPACES	
(N) ADDITION:	
2ND FLOOR (OFFICE) 10,164 SF	
3RD FLOOR (OFFICE) 10,164 SF	
TOTAL: 20,328 SF	
20,328 / 300 = 67.8 = 68 REQUIRED PARKING SPACES	
PARKING PROVIDED	
LEVEL TYPE (N) ADDITION	
LEVEL 1 ACCESSIBLE 4	
STANDARD 12	
COMPACT 15	
LEVEL TOTAL 31	
LEVEL P1 STANDARD 17	
COMPACT 15	
LEVEL TOTAL 32	
LEVEL P2 STANDARD 17	
COMPACT 15	
LEVEL TOTAL 32	
LEVEL P2 STANDARD 17	
COMPACT 15	
LEVEL TOTAL 32	
TOTAL PARKING PROVIDED:	(E) BUILDING GRAND TOTAL
ACCESSIBLE 4	270 397 (338 RQD)
STANDARD 63	4 8 (8 RQD)
(30% MAX) COMPACT 60	213 276
	53 113 (28%)
BICYCLE PARKING (5% REQUIRED AUTO PARKING SPACES PER SECTION 10.64.080): 397 x 5% = 19.85 = 20 BICYCLE PARKING SPACES REQUIRED 20 BICYCLE PARKING SPACES PROVIDED (14 LONG-TERM SPACES ON 1ST LEVEL PLAN A-2.04, 6 SHORT-TERM SPACES ON 2ND FLOOR / STREET LEVEL PLAN A-2.05)	
DEFERRED SUBMITTALS	
SEPARATE APPS, PLAN CHECK AND PERMITS WILL BE SUBMITTED FOR:	
- FIRE PROTECTION SPRINKLER SYSTEM - FIRE ALARM DESIGN SYSTEM	



CODES, REGULATIONS, PERMITS AND STANDARDS	
1. THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:	
PART 1: 2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24 CALIFORNIA CODE OF REGULATIONS (C.C.R.)	
PART 2: 2013 CALIFORNIA BUILDING CODE (CBC), TITLE 24 C.C.R. (2009 INTERNATIONAL BUILDING CODE, VOLUMES 1-2 OF THE INTERNATIONAL CODE COUNCIL, WITH CALIFORNIA AMENDMENTS)	
PART 3: 2013 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 C.C.R. (2008 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA)	
PART 4: 2013 CALIFORNIA MECHANICAL CODE (CMC), TITLE 24 C.C.R. (2009 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)	
PART 5: 2013 CALIFORNIA PLUMBING CODE (CPC), TITLE 24 C.C.R. (2009 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)	
PART 6: 2013 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R.	
PART 7: 2013 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, TITLE 24 C.C.R.	
PART 9: 2013 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2009 INTERNATIONAL FIRE CODE)	
PART 11: 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24 C.C.R. (CALGREEN)	
PART 12: 2013 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24 C.C.R.	
NFPA 13: 2010 STANDARDS FOR THE INSTALLATION OF SPRINKLER SYSTEMS	
NFPA 24: 2010 STANDARDS FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPEARANCES	
NFPA 72: 2010 NATIONAL FIRE ALARM AND SIGNALING CODE	
2. ALL WORK SHALL COMPLY WITH THE FOLLOWING CITY OF MANHATTAN BEACH REGULATIONS, CODES AND AUTHORITIES:	
A. BUILDING & SAFETY DEPT.	
B. PLANNING & ZONING DEPT.	
C. FIRE DEPT.	
D. PUBLIC WORKS DEPT.	
E. ENGINEERING DEPT.	
F. RECREATION & PARKS DEPT.	

VICINITY MAP	
330 S. SEPULVEDA BLVD. MANHATTAN BEACH 90266 APN: 4169-024-001, 4169-024-002, 4169-024-021	

SHEET INDEX	
ARCHITECTURAL	
T-1.0	TITLE SHEET
T-1.02	AREA PLANS
A-1.00	SURVEY
A-1.01	SITE PLAN
A-2.01	PARKING LEVEL P3
A-2.02	PARKING LEVEL P2
A-2.03	PARKING LEVEL P1
A-2.04	1st LEVEL PLAN
A-2.05	2nd LEVEL PLAN
A-2.06	3rd LEVEL PLAN
A-2.07	ROOF PLAN
A-3.01	SECTIONS
A-4.01	ELEVATIONS
A-4.02	ELEVATIONS

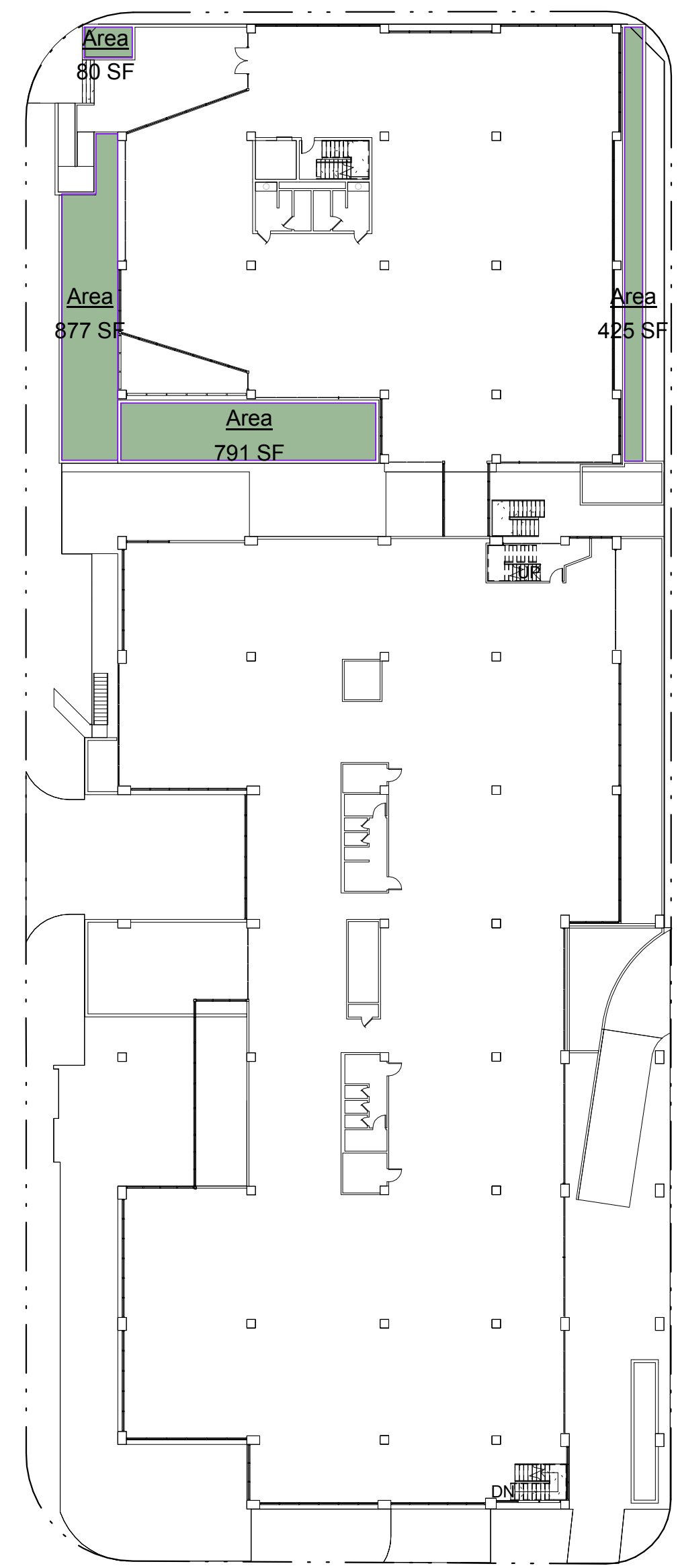
SKECHERS CORP. HQ ADDITION
330 SEPULVEDA BLVD
MANHATTAN BEACH, CA 90266

SCHEMATIC DESIGN SET
FEBRUARY 01, 2016

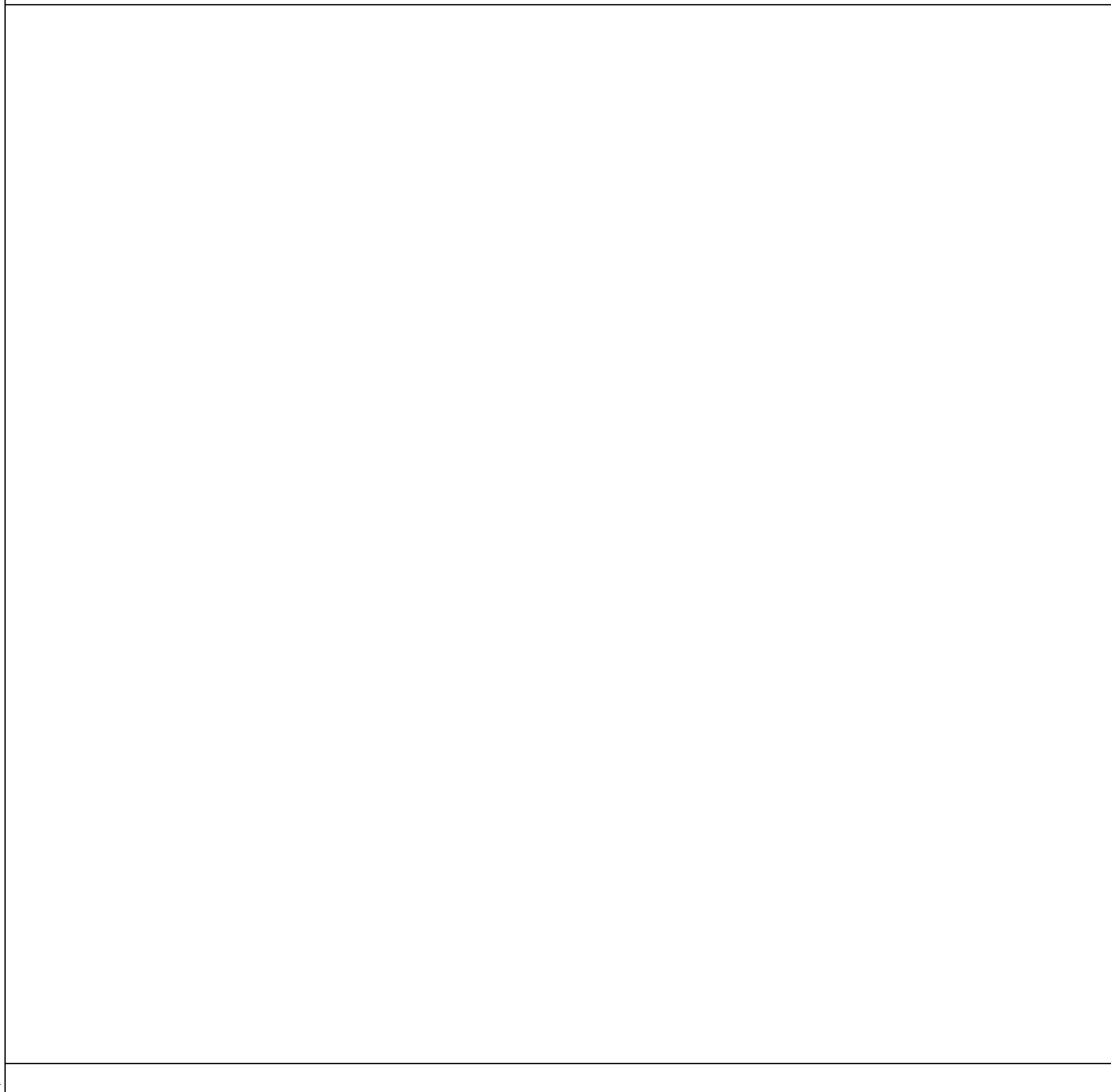
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Scale: As indicated
By: Author
Project No: 1553
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OF

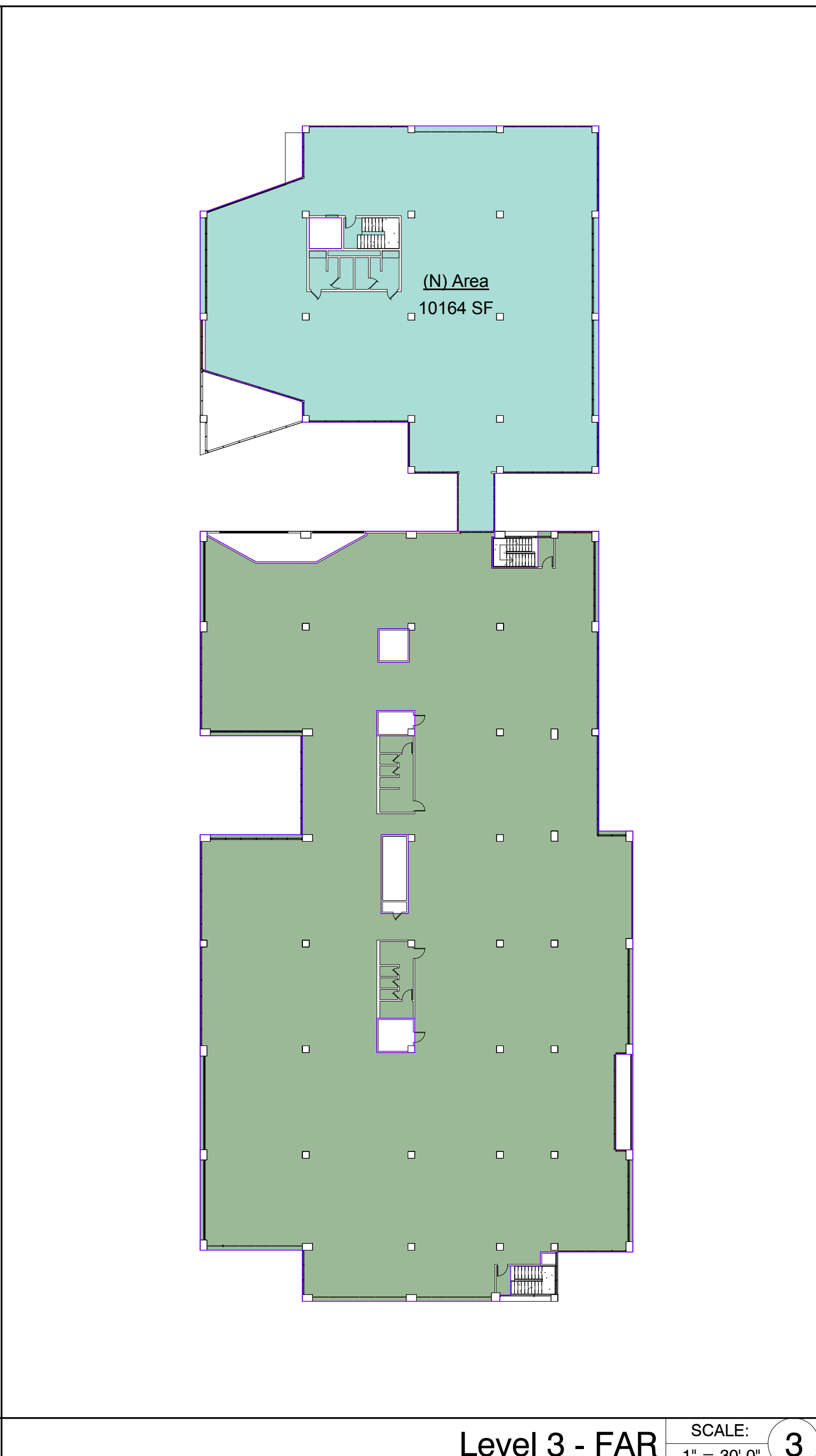
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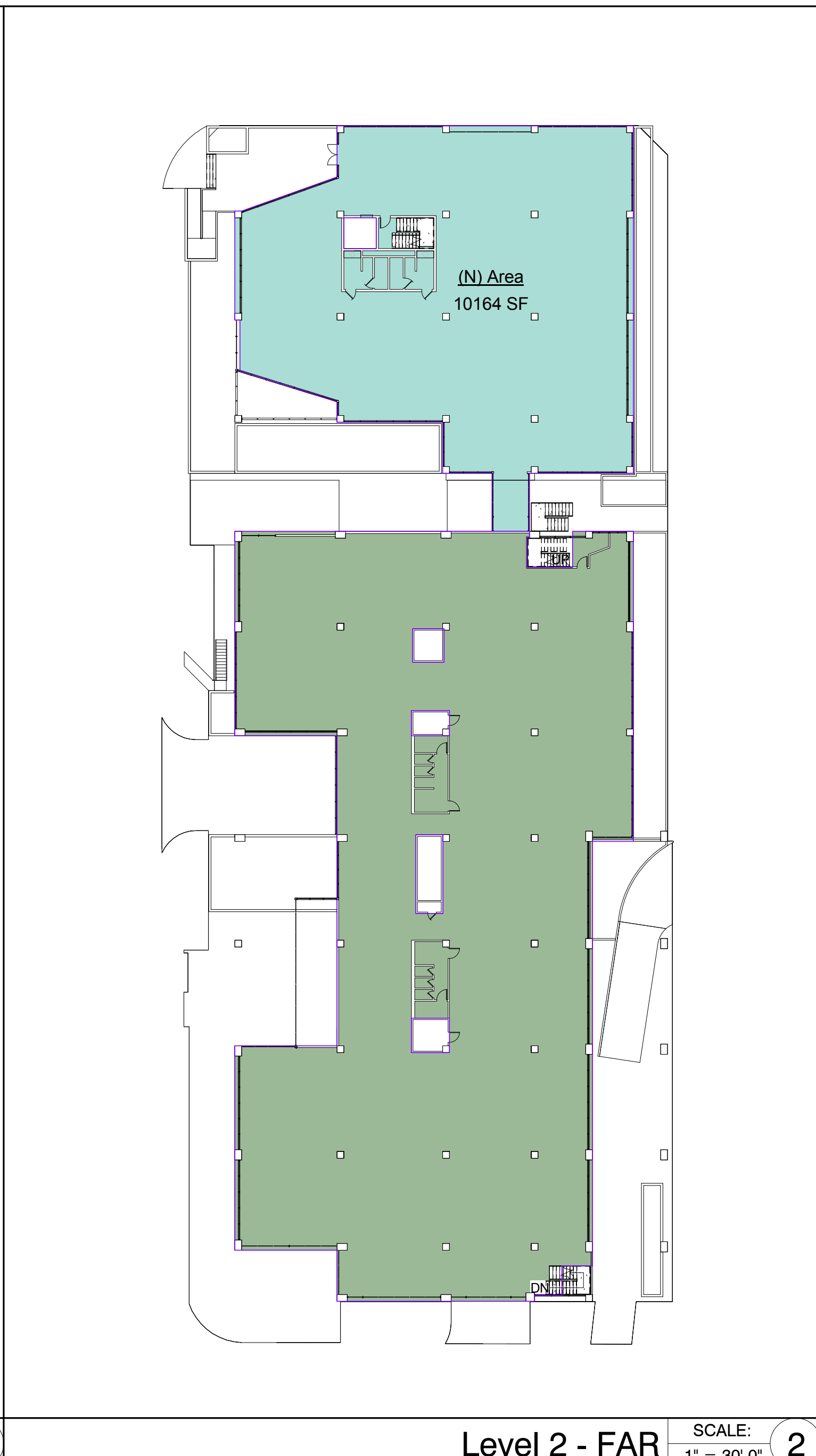
Level 2_Landscape Area SCALE: 1" = 30'-0" 4



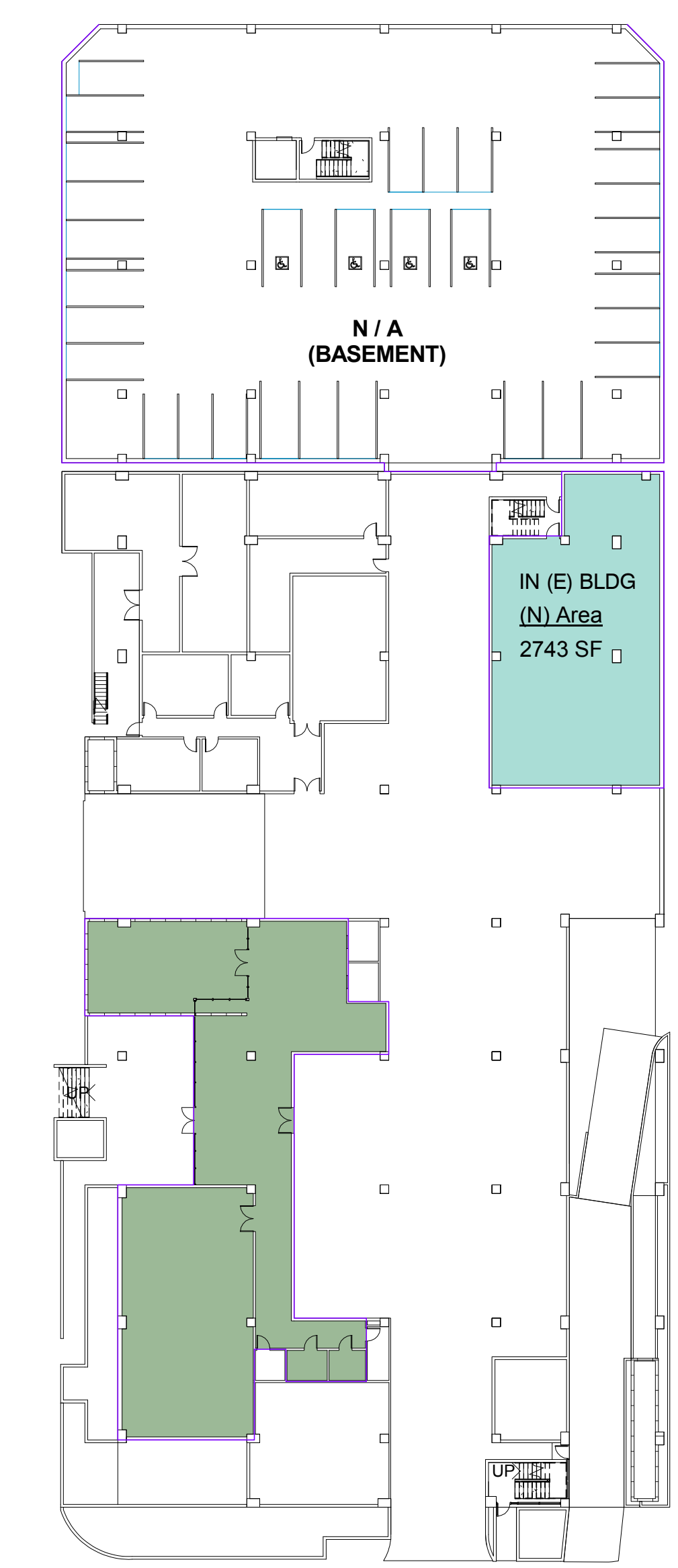
Level 3 - FAR SCALE: 1" = 30'-0" 3



Level 2 - FAR SCALE: 1" = 30'-0" 2



Level 1 - FAR SCALE: 1" = 30'-0" 1



Skechers Corp. HQ Addition
330 Sepulveda Blvd
Manhattan Beach, CA 90266

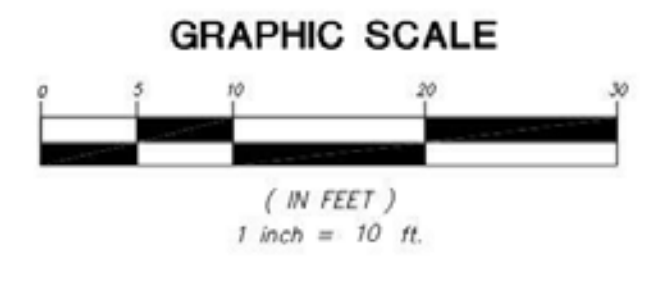
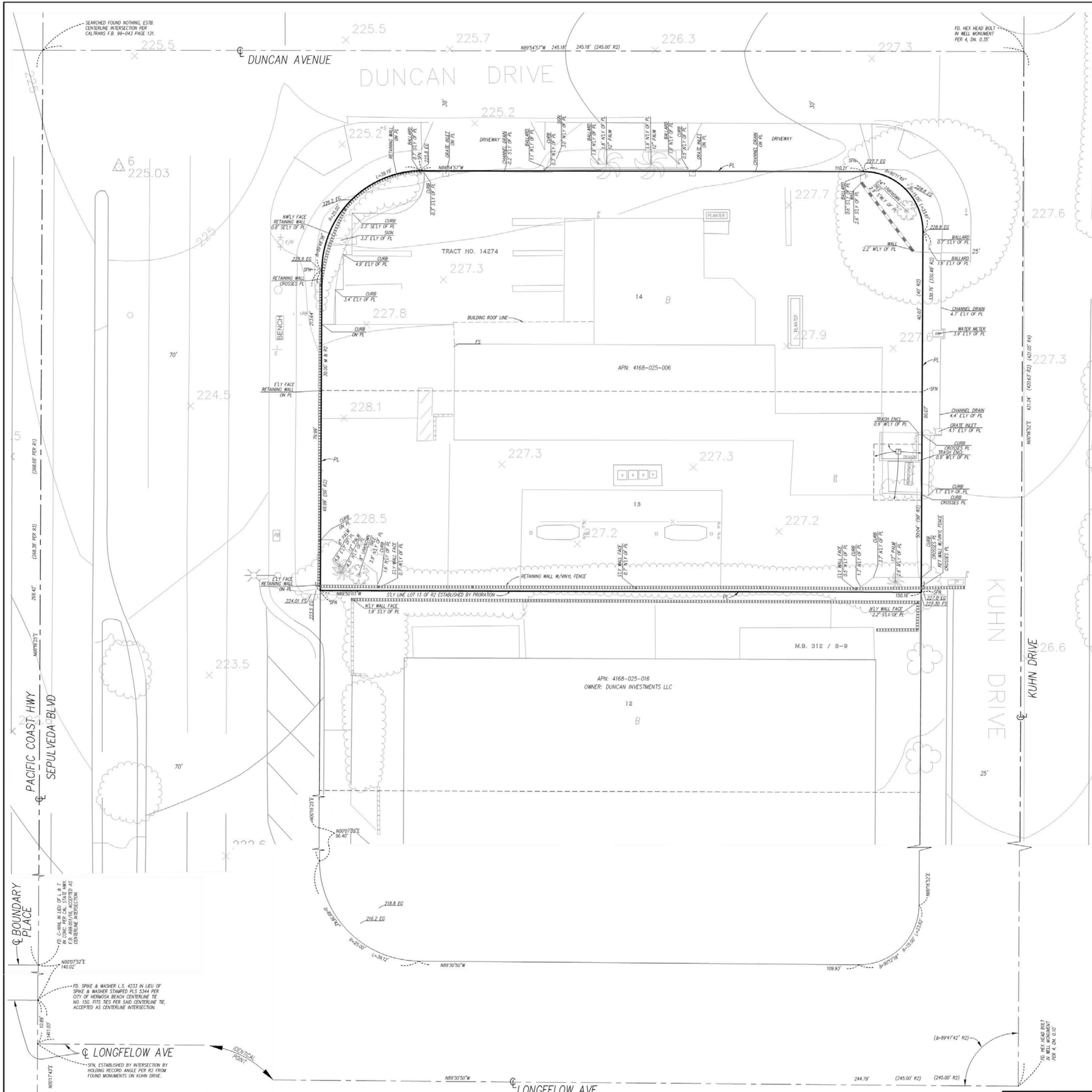
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AREA PLANS



Date: 01/25/16
Scale: 1" = 30'-0"
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OF



- ABBREVIATIONS:**
- B EXISTING BUILDING OR STRUCTURE
 - CONC CONCRETE
 - DI DROP INLET
 - EG EXISTING GRADE
 - E'LY EASTERLY
 - N'LY NORTHERLY
 - PL PROPERTY LINE
 - PB PULL BOX
 - S'LY SOUTHERLY
 - S SIGN
 - WM VAULT
 - WT WATER METER
 - W'LY WESTERLY
 - WV WATER VALVE

- LEGEND:**
- F/H FIRE HYDRANT
 - HEDGE / TREE LINE
 - IRRIGATION BOX
 - LIGHT
 - POST
 - SIGN
 - STREET LIGHT
 - SPOT ELEVATION
 - TREE
 - PALM TREE
 - VERT CONTROL

LEGAL DESCRIPTION:
 LOTS 13 AND 14 OF TRACT NO. 14274, IN THE CITY OF MANHATTAN BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 312, PAGES 8 AND 9 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 4168-025-006

EASEMENT NOTES:

- 1 INDICATES ITEMS PLOTTED PER TITLE REPORT OR# 071534712-30
- 5 WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY PUBLIC RECORDS.
- 7 SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, ITS SUCCESSORS AND ASSIGNS HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES RECORDED AUGUST 16, 1985 AS INSTRUMENT NO. 8881204 OF OFFICIAL RECORDS.

NOTES:

1. CALIFORNIA BUSINESS & PROFESSIONS CODE 6735.5: (THE USE OF THE WORDS "CERTIFY" OR "CERTIFICATION") THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A REGISTERED PROFESSIONAL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.
2. THE TITLE DATA FOR THIS SURVEY WAS TAKEN FROM TITLE REPORT ORDER NO. 071534712-30 DATED SEPTEMBER 16, 2015 BY USA NATIONAL TITLE COMPANY.
3. DATE OF SURVEY: DECEMBER, 2015.
4. SAID LAND CONTAINS: 15,588 ± SQ. FT. / 0.36 ± ACRES.
5. THESE PARCELS OF LAND LIE WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP, MAP NUMBER 06037C1770F MAP EFFECTIVE DATE: SEPTEMBER 26, 2008.
6. AERIAL MAPPING PROVIDED BY ATM TOPO MAPS, FLOWN ON 4-16-2014, CONTOUR INTERVAL AT 1' AND SUPPLEMENTED BY A FIELD SURVEY.

RECORD REFERENCE:
 R1 - CARNATION MILLA TRACT, M.B. 7 / 42
 R2 - TRACT NO. 14274, M.B. 312 / 8-9
 R3 - TRACT NO. 42598 M.B. 1064 / 26-27
 R4 - R.S.B. 145 / 30
 M - MEASURED
 SFN - SEARCHED FOUND NOTHING, SET NOTHING.

OWNERS:
 PRO-THRO ENTERPRISES, A CALIFORNIA CORPORATION

BASIS OF BEARINGS:
 BEARINGS ARE BASED ON THE CENTERLINE OF BOUNDARY PLACE BEING N 89° 57' 04" E PER TRACT NO. 42598 RECORDED IN BOOK 1064, PAGES 26 AND 27, OF MAPS, RECORDS OF LOS ANGELES COUNTY, CALIFORNIA AND ROTATED 0° 08' 39" CLOCKWISE FOR THE PURPOSE OF THIS MAP.

BASIS OF DATUM (BENCH MARK):
 CITY OF MANHATTAN BEACH BENCH MARK ID-BM9307
 BRASS DISK @ 4" W OF B.C.; S.W. COR. DUNCAN & SEPULVEDA
 ELEVATION: 223.263, NGVD 1988

SURVEYOR'S CERTIFICATE:
 TO SKECHERS DESIGN CENTER, LLC AND USA NATIONAL TITLE COMPANY.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 11(a), 15 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 10, 2015.

DATED: FEBRUARY 11, 2016
 THEODORE M. KRULL, L.S. 5848

PREPARED FOR:
 SKECHERS DESIGN CENTER, LLC

ALTA/ACSM LAND TITLE SURVEY
 300 S. SEPULVEDA BOULEVARD
 IN THE CITY OF MANHATTAN BEACH
 COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
 JOB NO. 537.2796004
 DATE: FEBRUARY 11, 2016 SHEET 1 OF 1 SHEET

Prepared by:
 STARLIGHT SURVEYING, INC.
 17955 Sky Park Circle, Suite F
 Irvine, California, 92614
 (949) 757-0613 Fax (949) 757-0623
 Land Surveyors

NO.	DATE	DESCRIPTION	BY

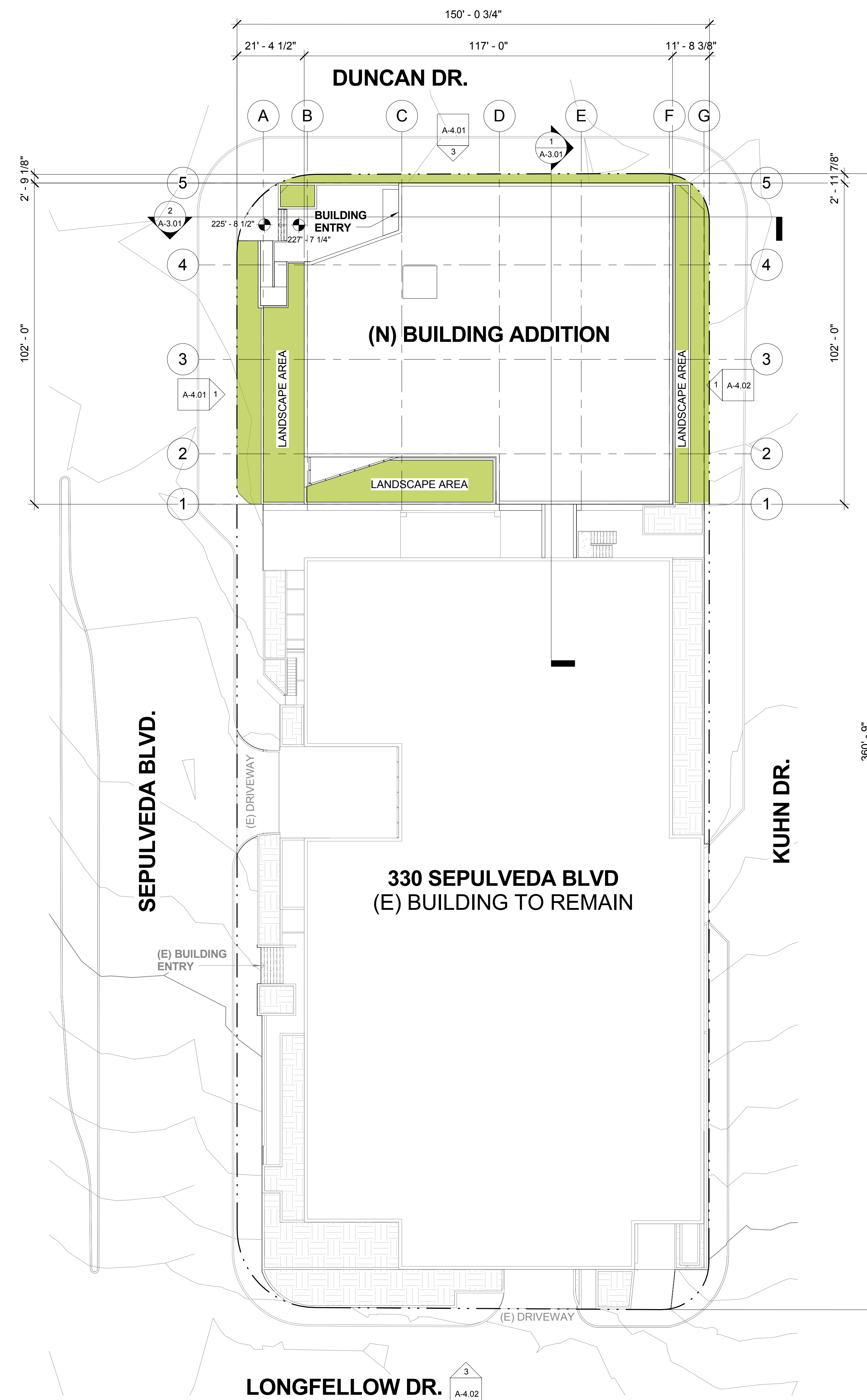
PRELIMINARY

SEARCHED FOUND NOTHING, ESTD CENTERLINE INTERSECTION PER CALTRANS F.B. 99-043 PAGE 131.



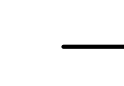
FD. SPIKE & WASHER L.S. 4233 IN LIEU OF SPIN & WASHER STAMPED PLS 5344 PER CITY OF HERMOSA BEACH CENTERLINE TIE NO. 150. FITS TIES PER SAID CENTERLINE TIE ACCEPTED AS CENTERLINE INTERSECTION.

FD. CONC. MON BRASS PLATE MTD CO. L.A. ROAD, S.W. COR. SEC 30, T.3S., R.14W. S.B.M. PER TR 15243, M.B. 379/10-11.


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DRAWING LEGEND

-  EXISTING TO REMAIN
-  EXISTING TO BE DEMOLISHED
-  NEW CONSTRUCTION

Site Plan SCALE: 1" = 20'-0" 1

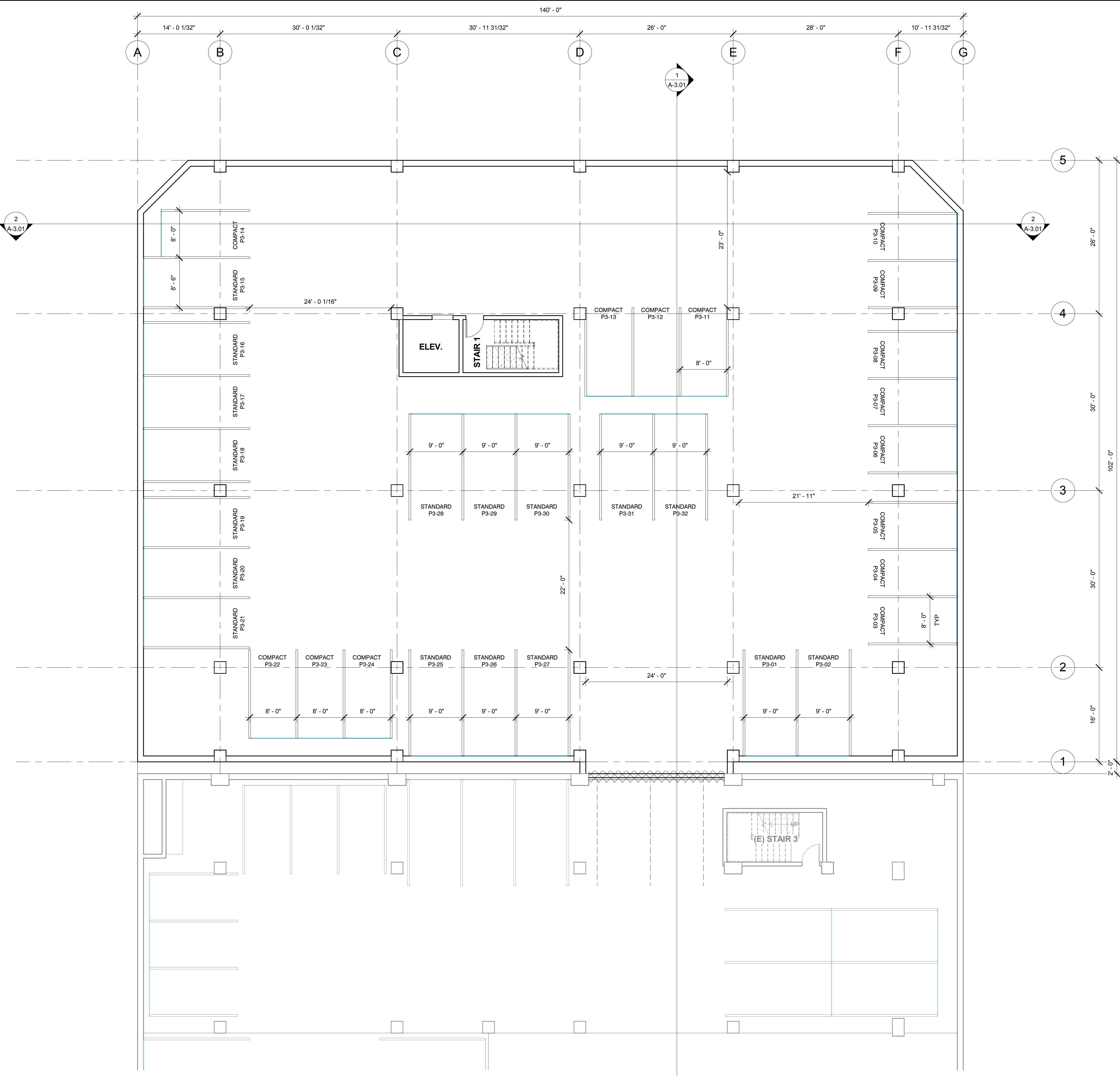

 Skechers Corp. HQ Addition
 330 Sepulveda Blvd
 Manhattan Beach, CA 90266

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 FEBRUARY 01, 2016

SITE PLAN



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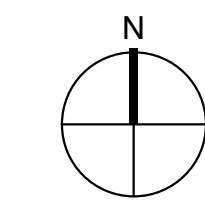


KEYNOTES

DRAWING LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION

LEVEL P2	STANDARD	17
	COMPACT	15
	LEVEL TOTAL	32



Level P3 SCALE: 1/8" = 1'-0" 1



Skechers Corp. HQ Addition
 330 Sepulveda Blvd
 Manhattan Beach, CA 90266

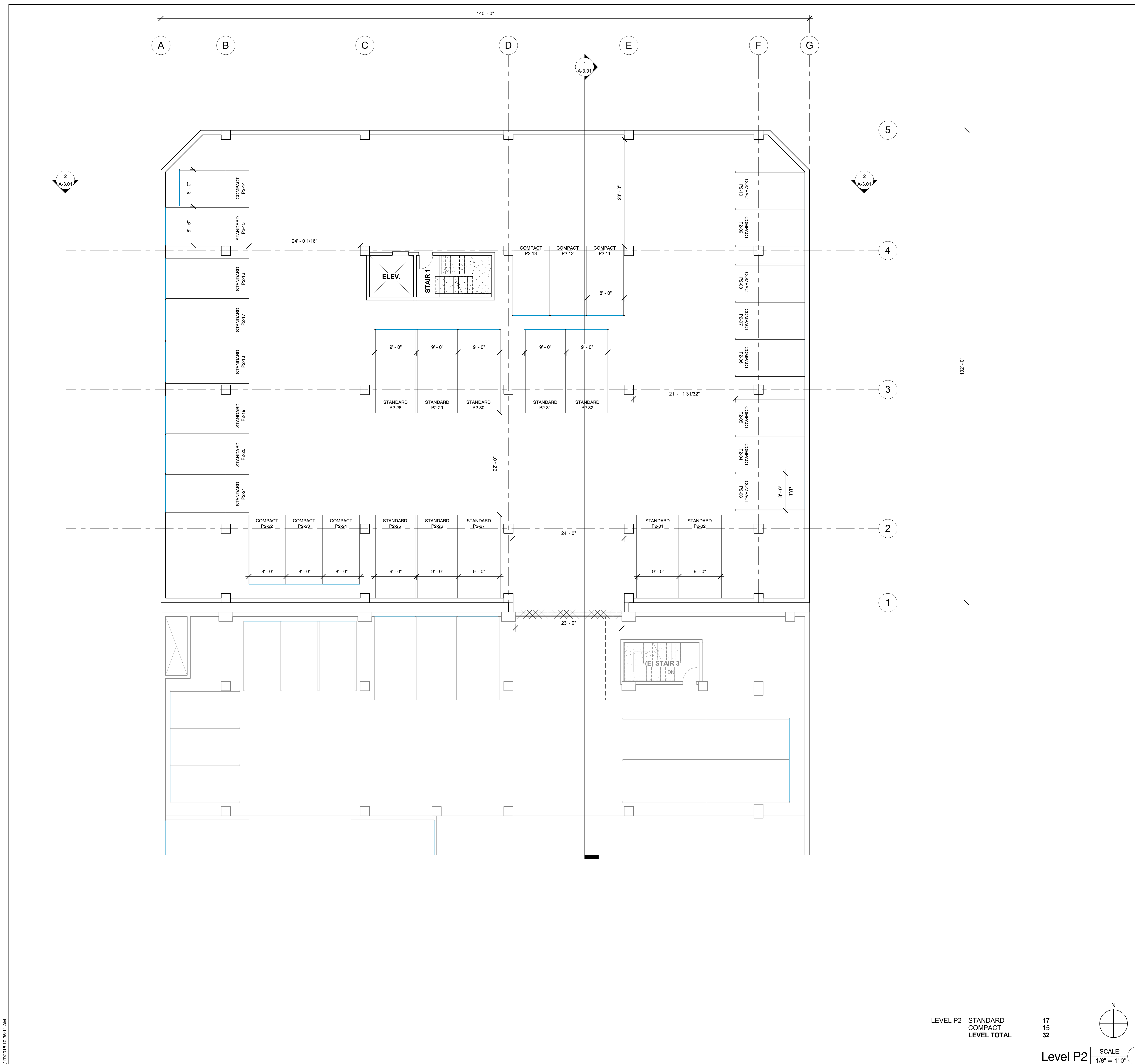
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PARKING LEVEL P3






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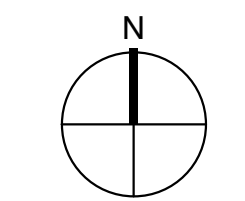


KEYNOTES

DRAWING LEGEND

-  EXISTING TO REMAIN
-  EXISTING TO BE DEMOLISHED
-  NEW CONSTRUCTION

LEVEL P2	STANDARD	17
	COMPACT	15
	LEVEL TOTAL	32



Level P2 SCALE: 1/8" = 1'-0" 1



Skechers Corp. HQ Addition
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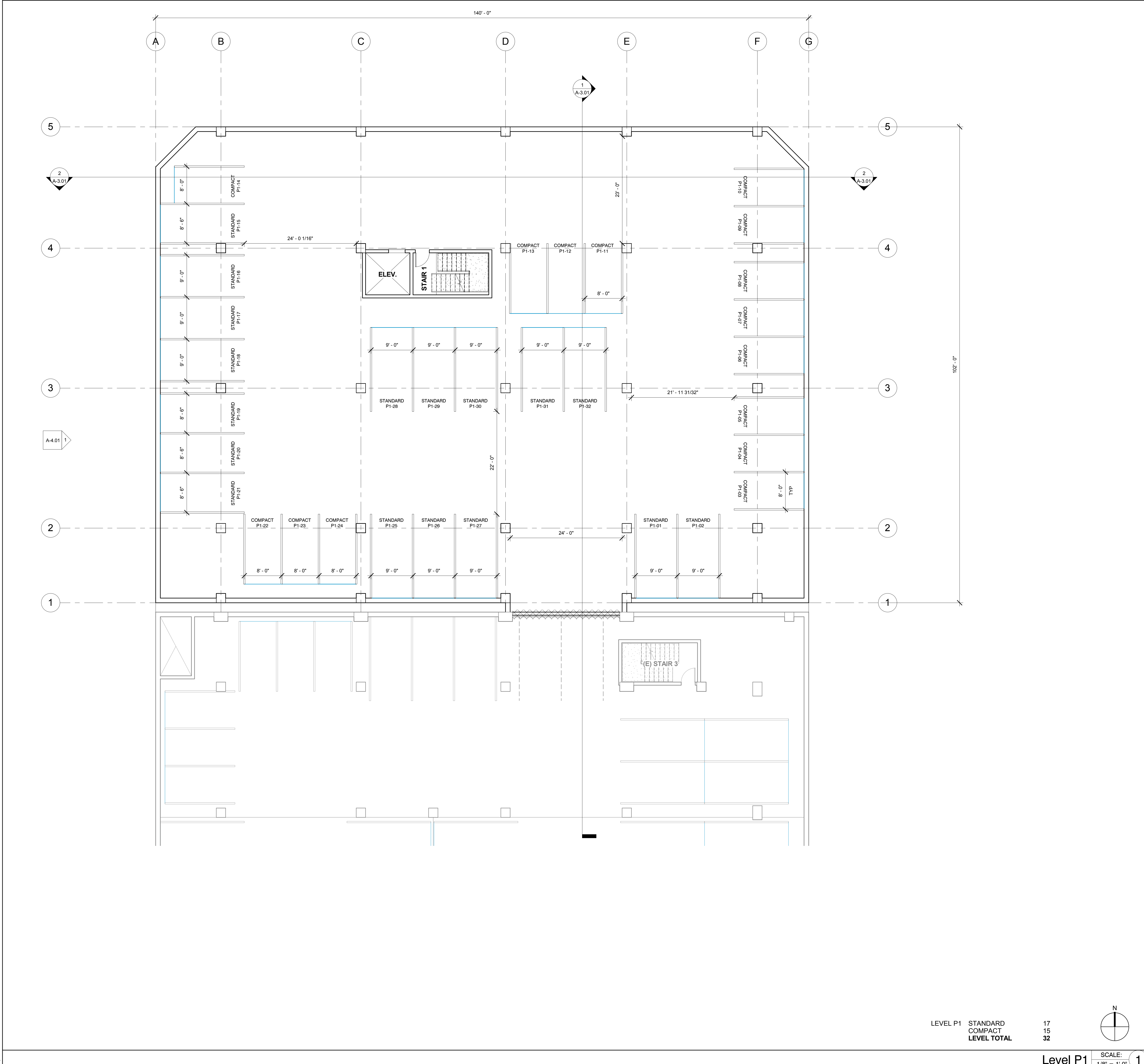
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PARKING LEVEL P2



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OF

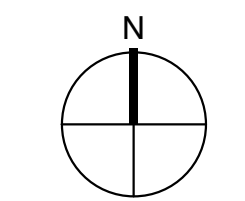


KEYNOTES

DRAWING LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION

LEVEL P1	STANDARD	17
	COMPACT	15
	LEVEL TOTAL	32



Level P1 SCALE: 1/8" = 1'-0" 1



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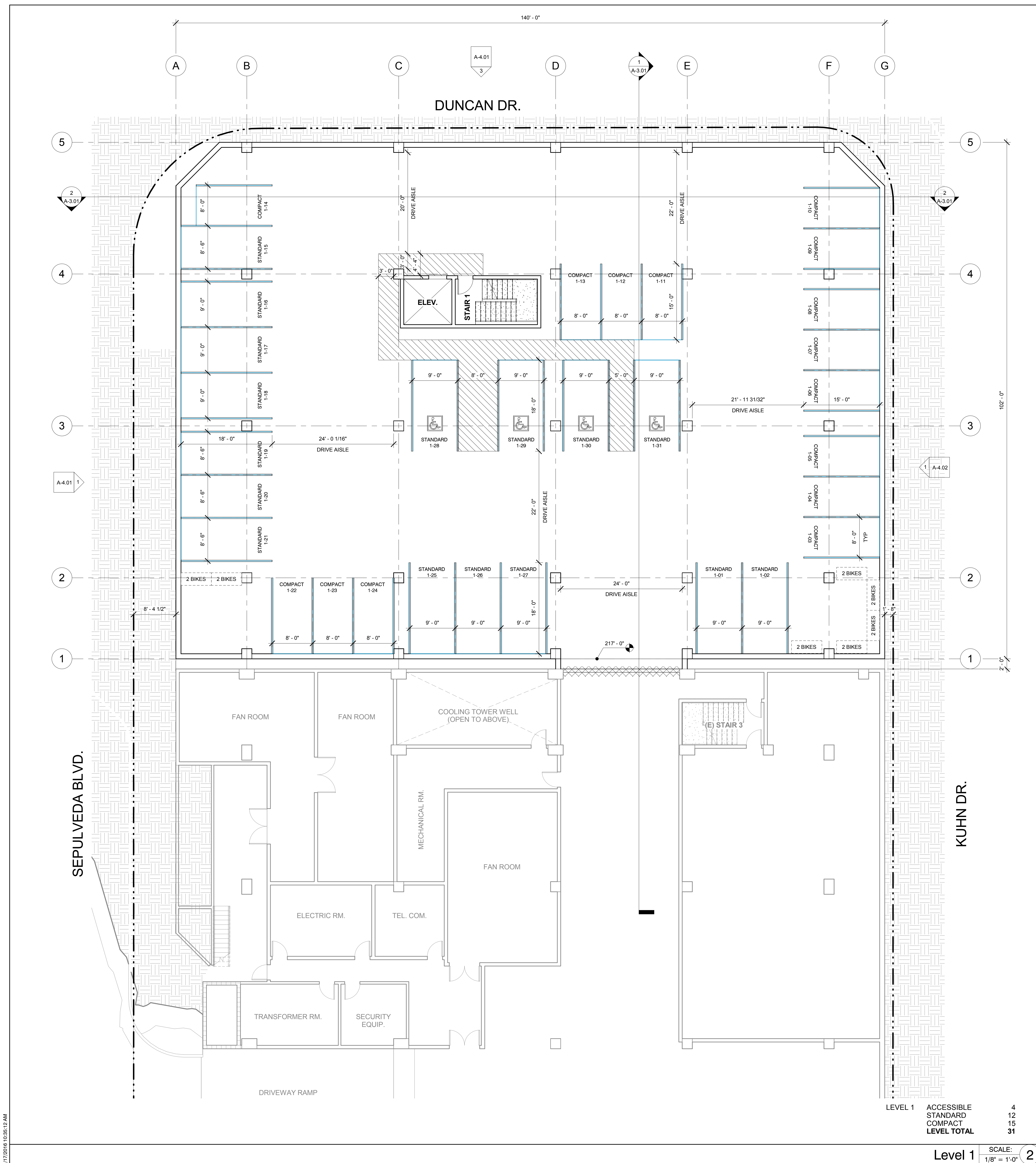
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PARKING LEVEL P1



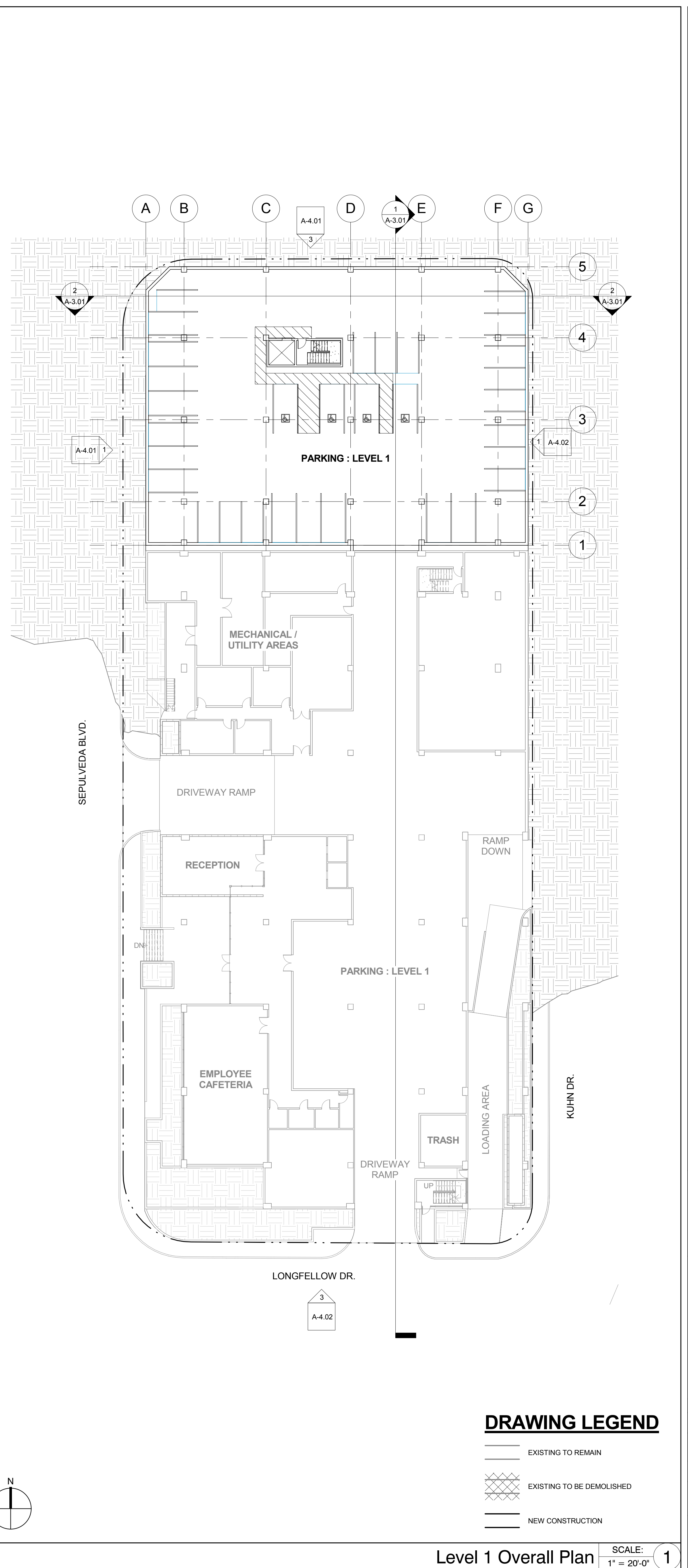
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A-2.03
OF



LEVEL 1	ACCESSIBLE	4
	STANDARD	12
	COMPACT	15
	LEVEL TOTAL	31

Level 1 SCALE: 1/8" = 1'-0" 2



DRAWING LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION

Level 1 Overall Plan SCALE: 1" = 20'-0" 1



Skechers Corp. HQ Addition
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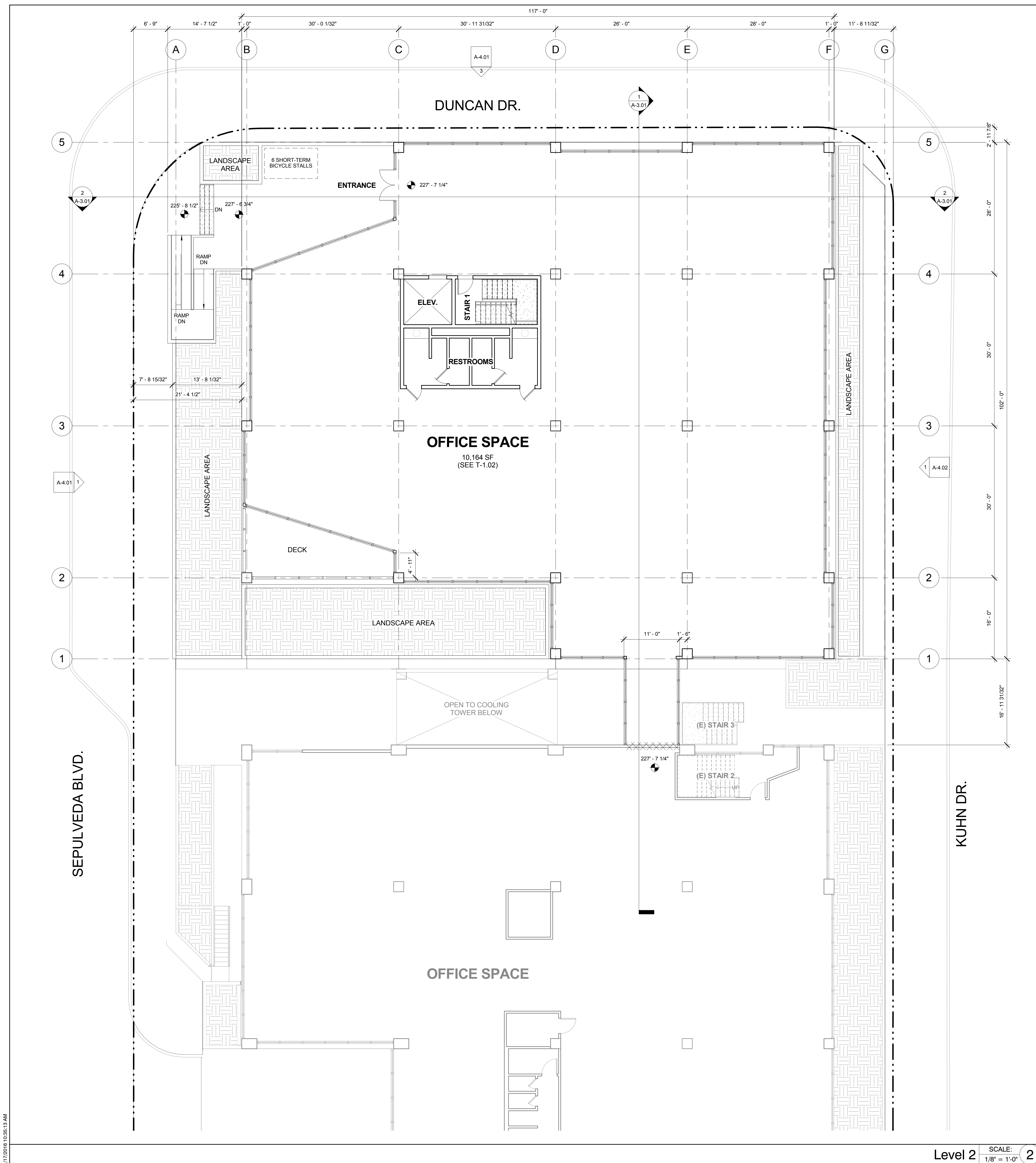
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1st LEVEL PLAN

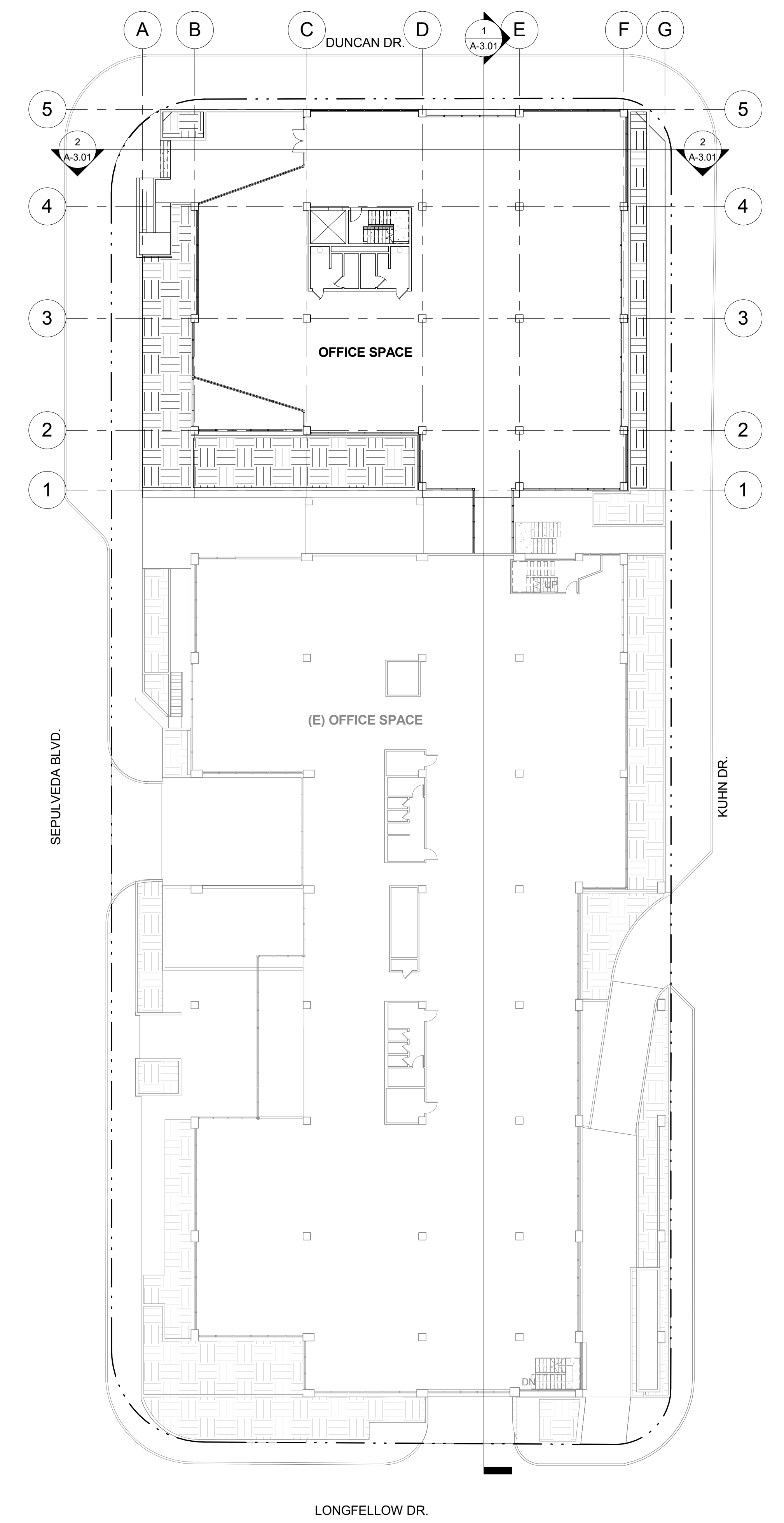


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Level 2 SCALE: 1/8" = 1'-0" 2



Level 2 Overall Plan SCALE: 1" = 20'-0" 1

DRAWING LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW CONSTRUCTION



Skechers Corp. HQ Addition
 330 Sepulveda Blvd
 Manhattan Beach, CA 90266

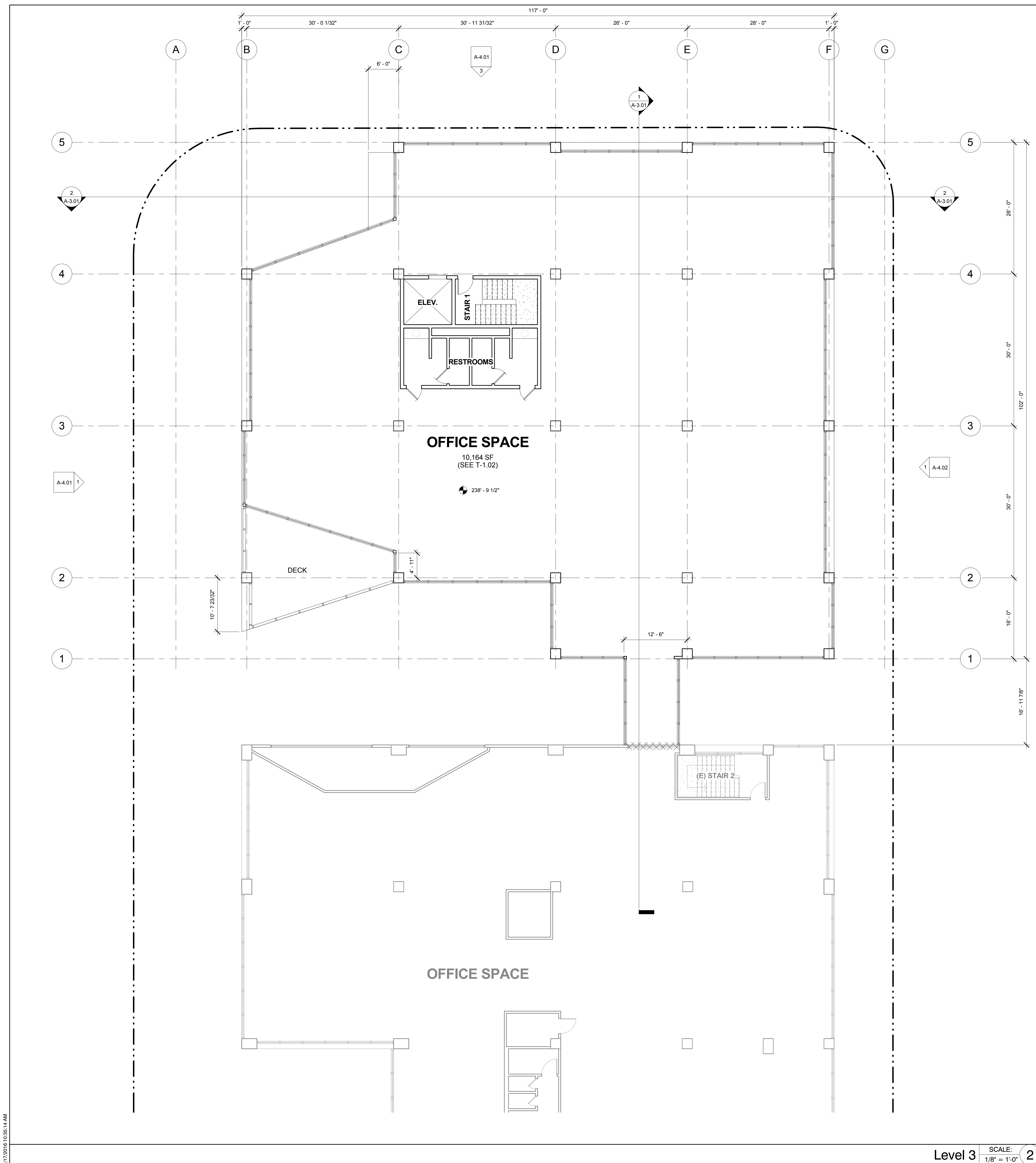
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2nd LEVEL PLAN

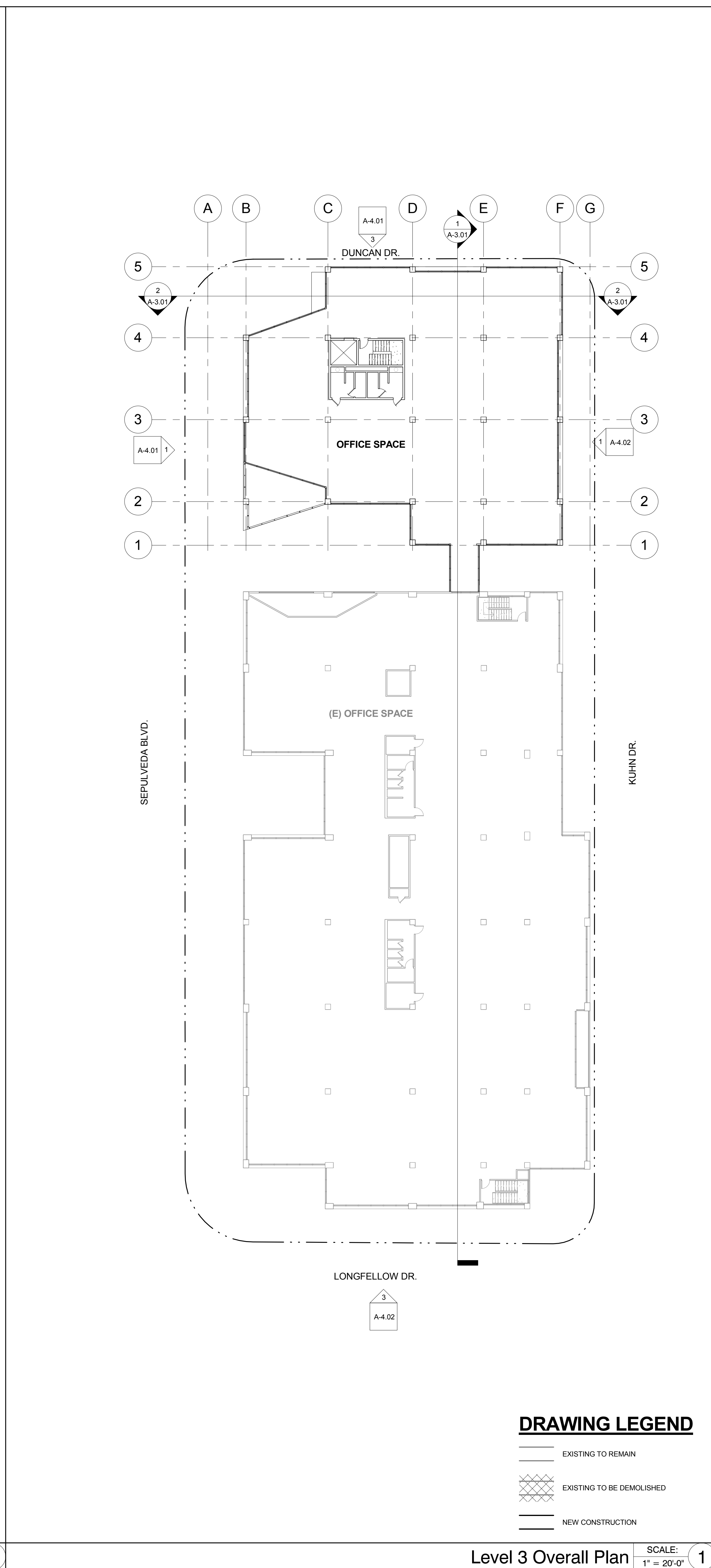


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 Project No: 1553
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Level 3 SCALE: 1/8" = 1'-0" 2



Level 3 Overall Plan SCALE: 1" = 20'-0" 1

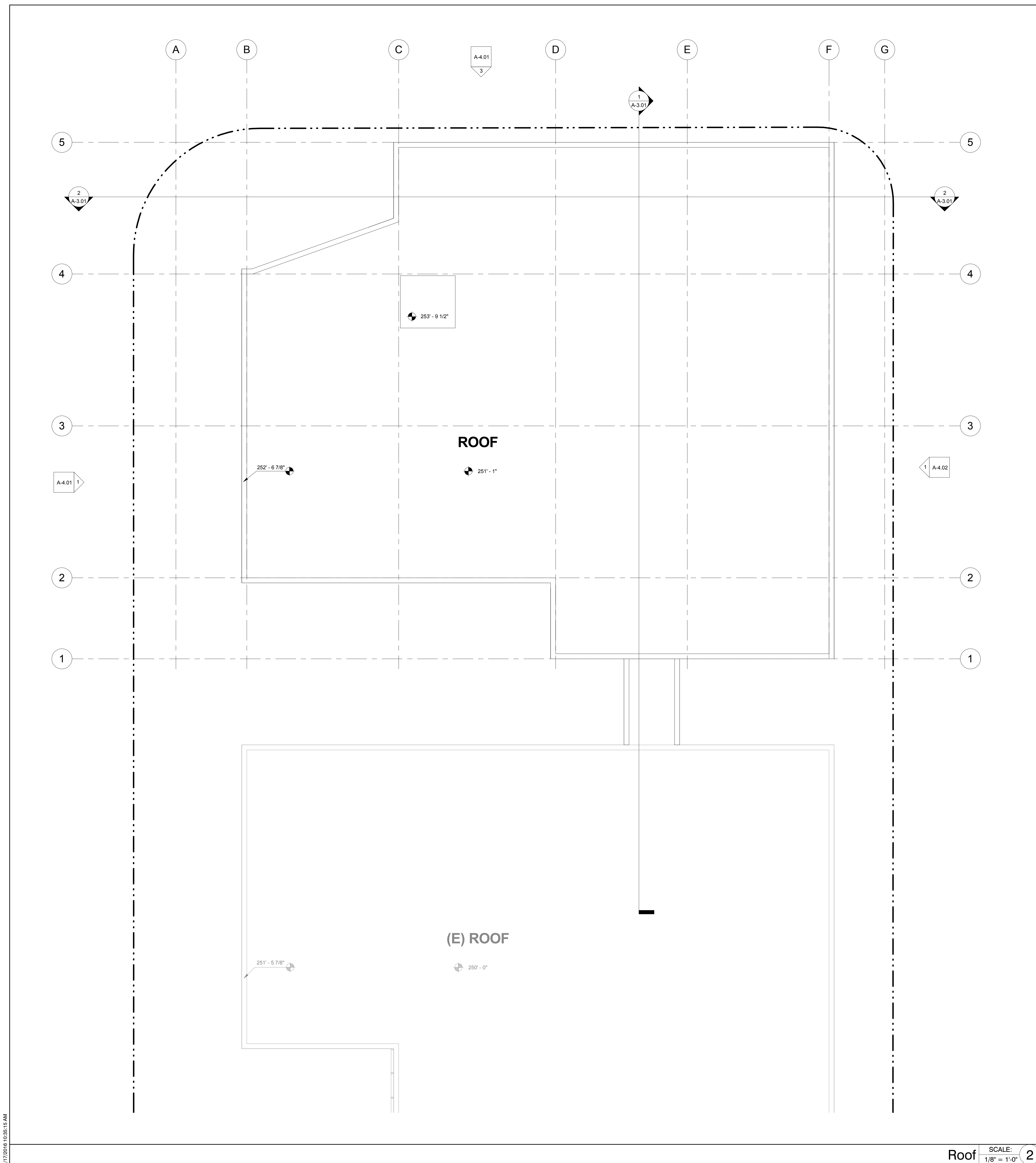

 Skechers Corp. HQ Addition
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 Manhattan Beach, CA 90266

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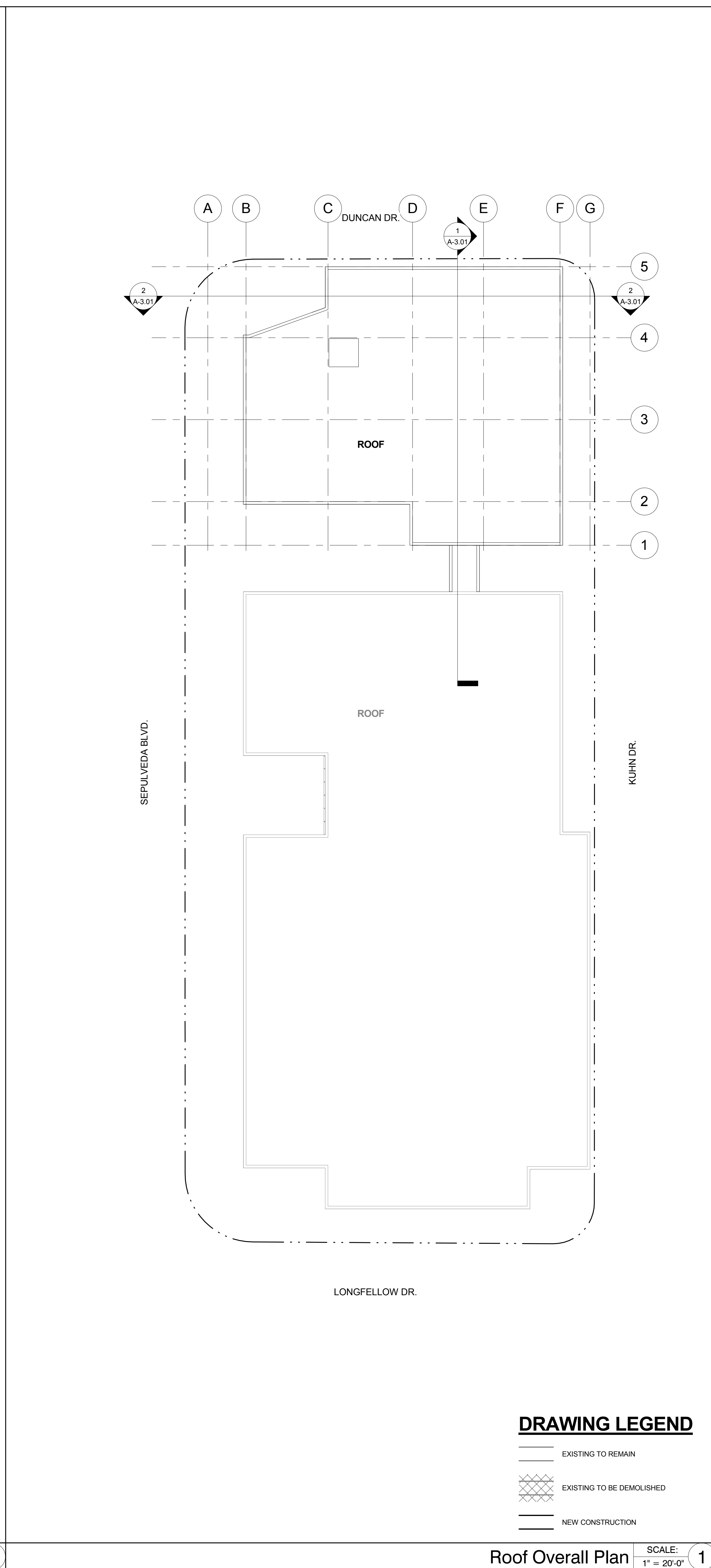
3rd LEVEL PLAN



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Scale:	As indicated
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Project No:	1553
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Roof SCALE: 1/8" = 1'-0" 2



DRAWING LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION

Roof Overall Plan SCALE: 1" = 20'-0" 1

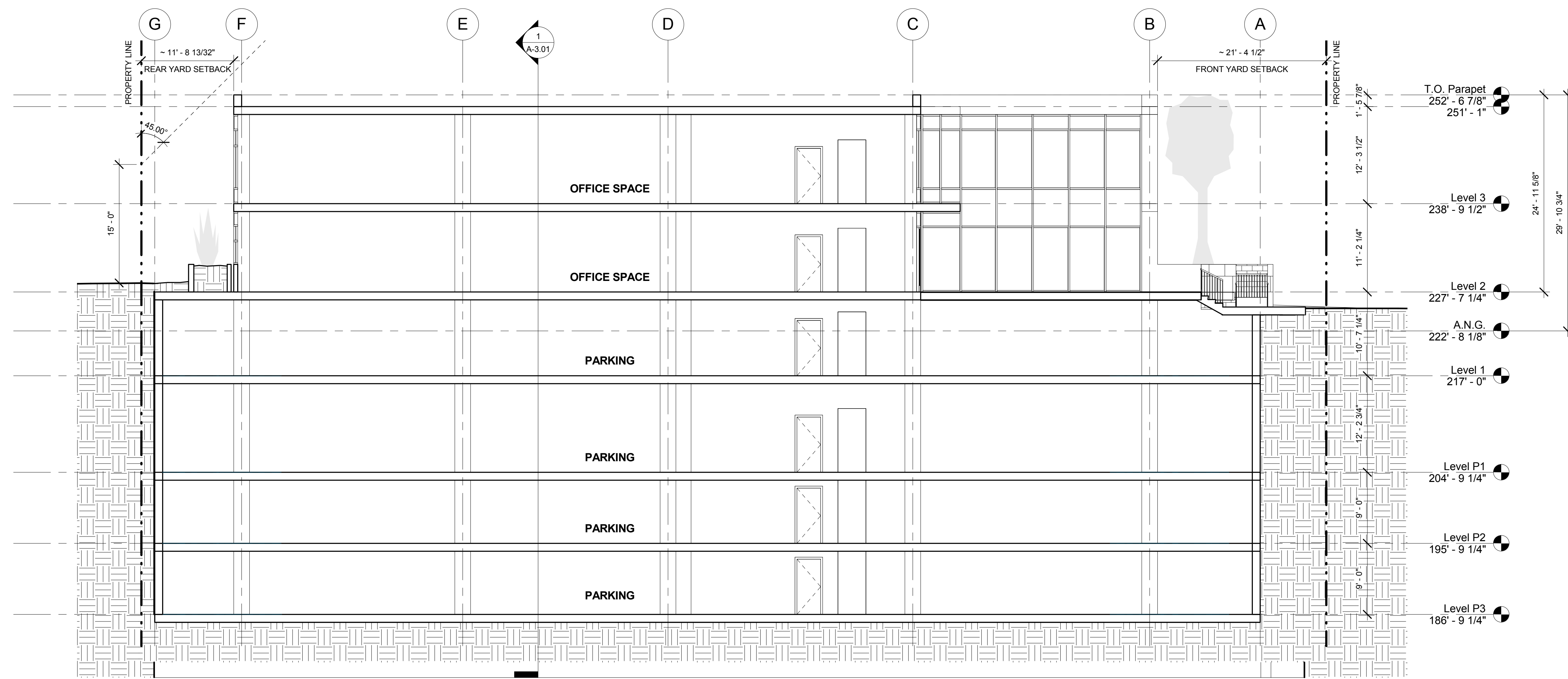
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SCHEMATIC DESIGN SET
FEBRUARY 01, 2016

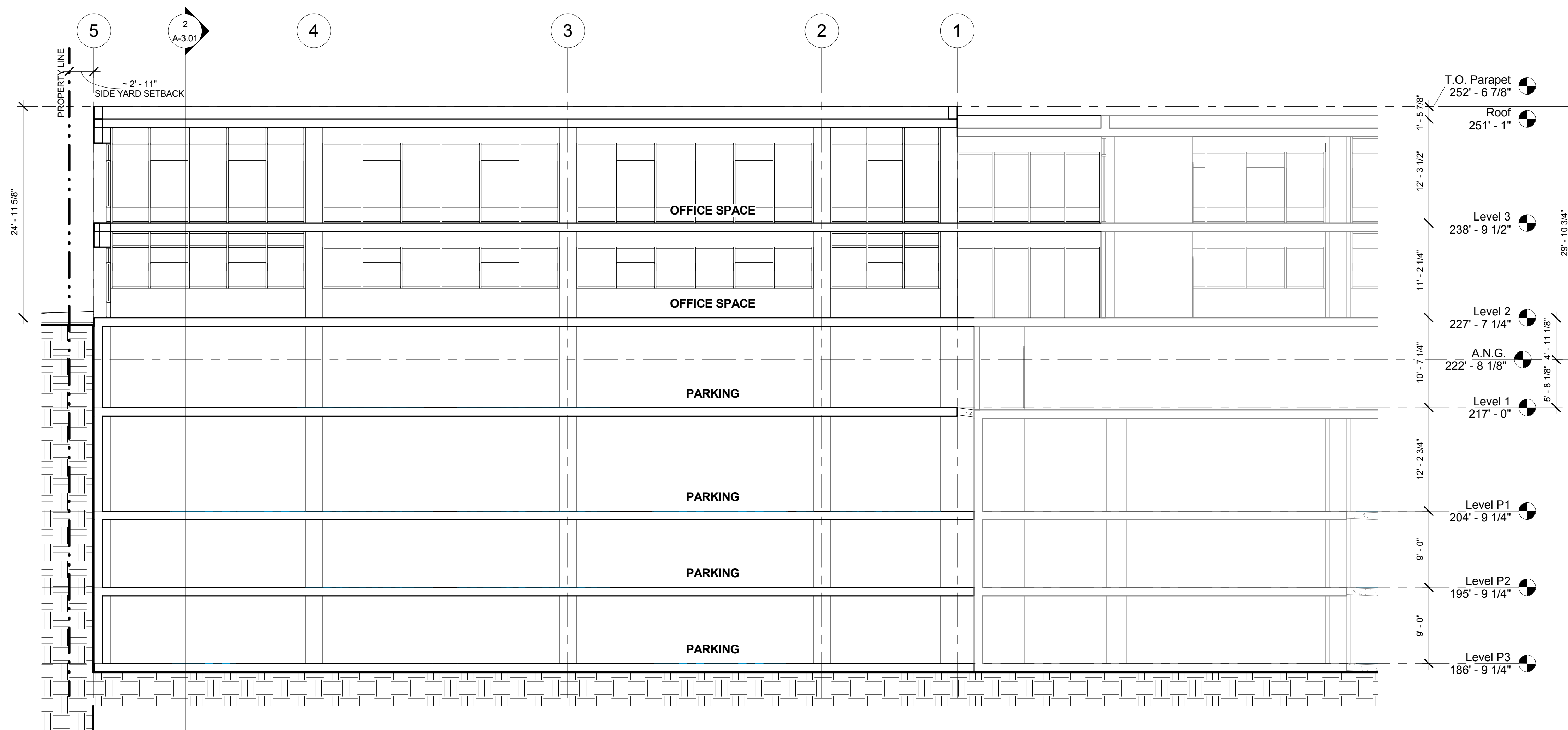
ROOF PLAN

Date:	01/22/16
Scale:	As indicated
By:	Author
Project No:	1553
Page No:	A-2.07

2/17/2016 10:35:15 AM



Section A SCALE: 1/8" = 1'-0" 2



Section 1 SCALE: 1/8" = 1'-0" 1

DRAWING LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION

Skechers Corp. HQ Addition
330 Sepulveda Blvd
Manhattan Beach, CA 90266

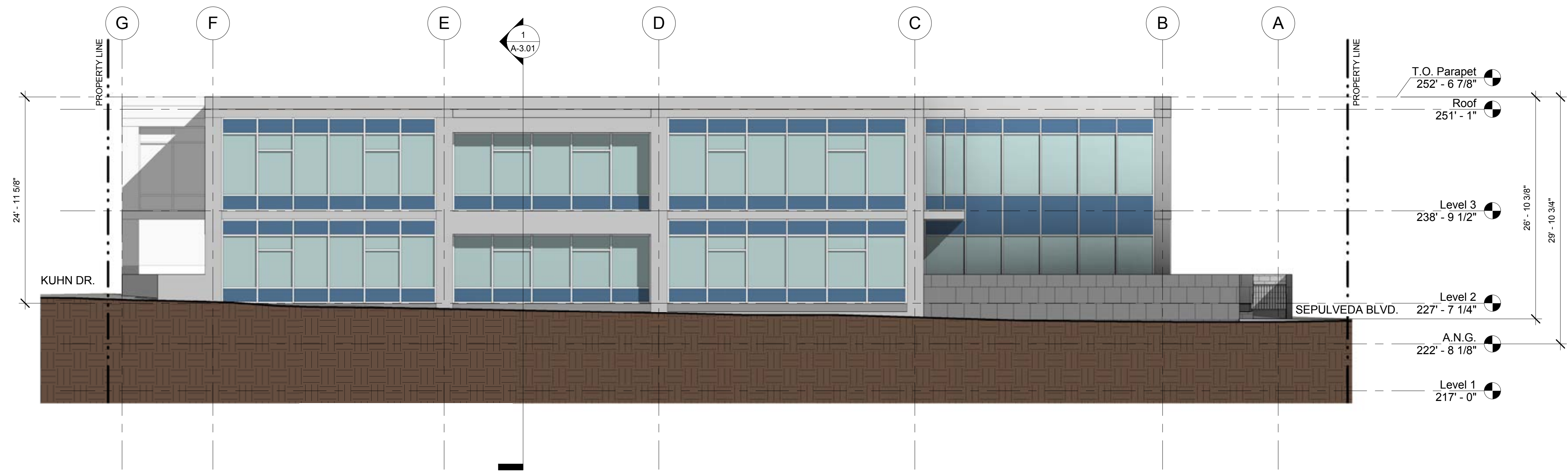
SCHEMATIC DESIGN SET
FEBRUARY 01, 2016

SECTIONS

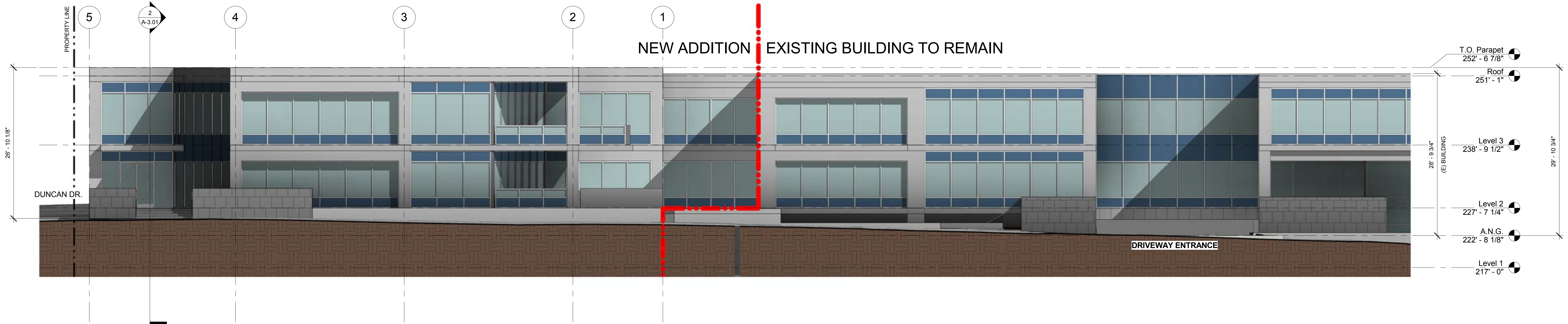


Date: 02/01/16
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Project No: 1553
Page No: A-3.01
OF





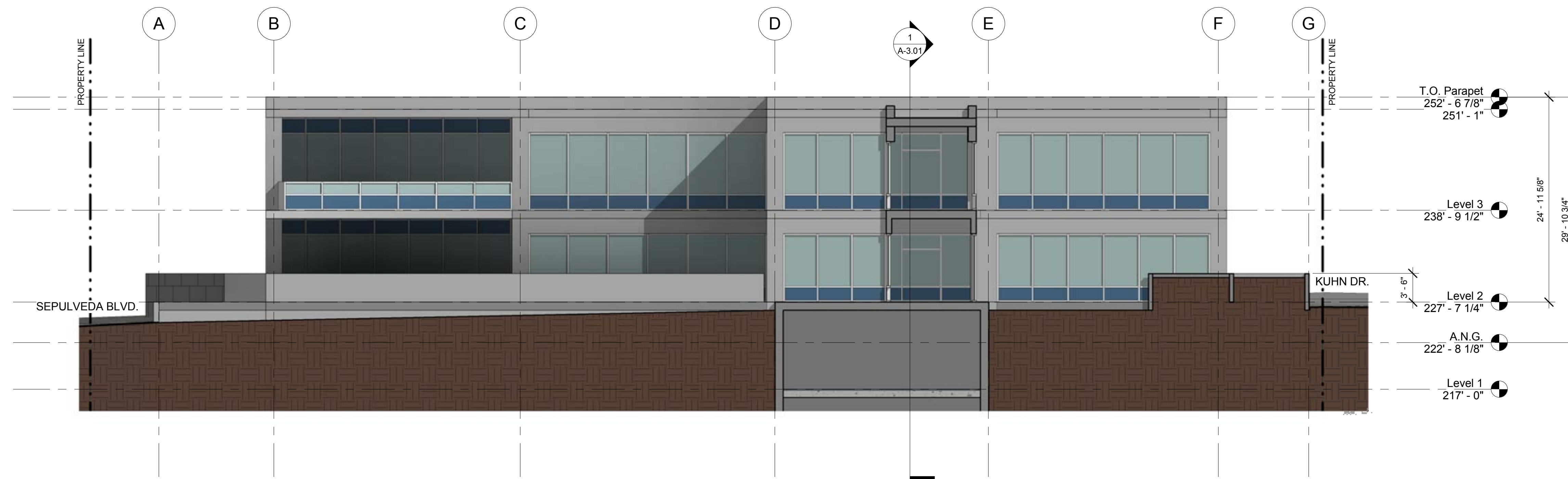
North Elevation @ Duncan Dr. SCALE: 1/8" = 1'-0" 3



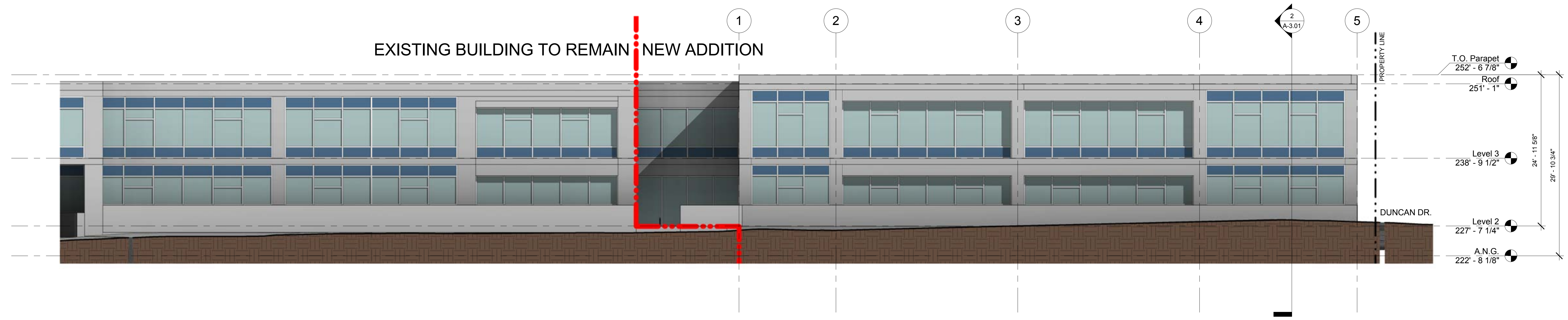
West Elevation @ Sepulveda Blvd. SCALE: 1/8" = 1'-0" 2



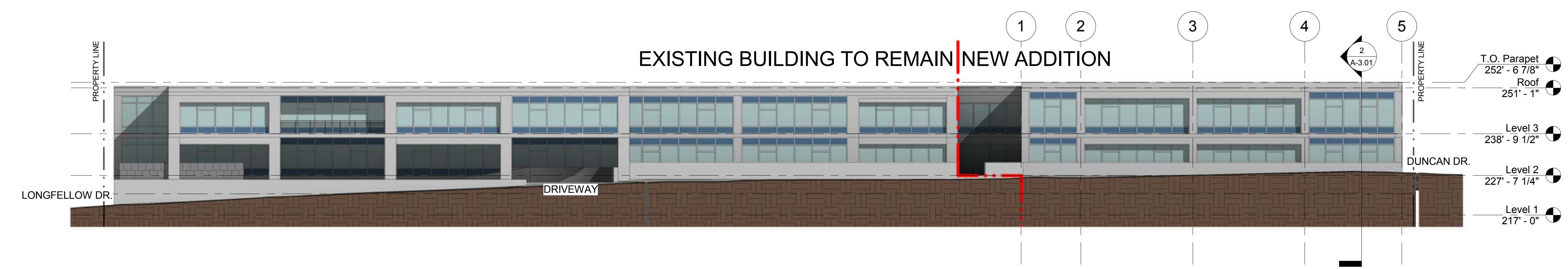
West Overall Elevation @ Sepulveda Blvd. SCALE: 1/16" = 1'-0" 1



South Elevation / Section @ New Addition SCALE: 1/8" = 1'-0" 3



East Elevation @ Kuhn Dr. SCALE: 1/8" = 1'-0" 2



East Overall Elevation @ Kuhn Dr. SCALE: 1/16" = 1'-0" 1

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